

Attachment C4

Architectural Design Report

Design Criteria Item
Design Guidance Item

APARTMENT DESIGN GUIDE COMPLIANCE SUMMARY

DESIGN CRITERIA OR GUIDANCE	COMPLIANCE	ADDITIONAL COMMENTS
PART 4E - PRIVATE OPEN SPACE AND BALCONIES		
Objective 4E-1 Apartments provide appropriately sized private open space and balconies to enhance residential amenity	Y	Additional landscape opens space at the roof top and level 2 has been provided to enhance residential amenity addressing the objectives of 4E-1. Refer to comments below
All apartments are required to have primary balconies as follows: Studio: 4m2 1 Bedroom: 8m2, 2m minimum depth 2 Bedroom: 10m2, 2m minimum depth 3 Bedroom: 12m2, 2.4m minimum depth The minimum balcony depth to be counted as contributing to the balcony area is 1m	N	Given the proposed adaptive reuse of the existing building and site constraints no private balconies have been provided to the apartments. This shortfall has been offset by providing additional landscaped communal area at the roof top, level 2 roof terrace and lower ground communal room. The amount of outdoor communal open space provided on the site (75m2 or 49% of site) and communal room at lower ground (38m2 or 25% of site) is more than sufficient to offset this shortfall in private open space. The site is also in close proximity to expansive open space and recreation areas being centrally located within the CBD.
For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m2 and a minimum depth of 3m.	N/A	There are no apartments provided at the lowest ground floor level fronting the street.
Increased communal open space should be provided where the number or size of balconies are reduced.	Y	Increased outdoor communal areas have been provided that equate to 74m2 or 48% of the site. Additional indoor communal space of 38m2 or 25% of the site has also been provided at the lower ground level providing a high level of amenity for the residents. Note that the site is centrally located within the Sydney CBD having access to parks and recreation areas such as Observatory Hill Park to the north and Hickson Rd Park and waterfront to the west, all within a short walking distance.
Storage areas on balconies is additional to the minimum balcony size.	N/A	
Balcony use may be limited in some proposals by: • consistently high wind speeds at 10 storeys and above • close proximity to road, rail or other noise sources • exposure to significant levels of aircraft noise • heritage and adaptive reuse of existing buildings In these situations, Juliet balconies, operable walls, enclosed wintergardens or bay windows may be appropriate, and other amenity benefits for occupants should also be provided in the apartments or in the development or both. Natural ventilation also needs to be demonstrated.	Y	The adaptive reuse of the existing building limits the introduction of balconies within the development. Increased communal open space has been provided to maintain a high level of amenity for the residents. The site is also well placed with excellent access to parks and recreation spaces all within short walking distance of the site.
Objective 4E-2 Primary private open space and balconies are appropriately located to enhance livability for residents	Y	Increased communal open space has been provided at the roof top and level 2 to enhance livability for the residents. The site is in close proximity to a range of outdoor areas being located in one of the most livable cities in the world.
Primary open space and balconies should be located adjacent to the living room, dining room or kitchen to extend the living space.	N/A	
Private open spaces and balconies predominantly face north, east or west.	N/A	
Primary open space and balconies should be orientated with the longer side facing outwards or be open to the sky to optimise daylight access into adjacent rooms.	N/A	
Objective 4E-3 Private open space and balcony design is integrated into and contributes to the overall architectural form and detail of the building	Y	All open space areas have been carefully considered and integrate into the architectural design.
Solid, partially solid or transparent fences and balustrades are selected to respond to the location. They are designed to allow views and passive surveillance of the street while maintaining visual privacy and allowing for a range of uses on the balcony. Solid and partially solid balustrades are preferred.	N/A	
Full width full height glass balustrades alone are generally not desirable.	N/A	
Projecting balconies should be integrated into the building design and the design of soffits considered.	N/A	
Operable screens, shutters, hoods and pergolas are used to control sunlight and wind.	Y	
Balustrades are set back from the building or balcony edge where overlooking or safety is an issue	N/A	
Downpipes and balcony drainage are integrated with the overall facade and building design.	Y	
Air-conditioning units should be located on roofs, in basements, or fully integrated into the building design.	Y	Screened roof top spaces have been provided
Where clothes drying, storage or air conditioning units are located on balconies, they should be screened and integrated in the building design.	N/A	
Ceilings of apartments below terraces should be insulated to avoid heat loss.	Y	Refer to BASIX Certificate.
Water and gas outlets should be provided for primary balconies and private open space.	Y	To communal open space areas
Objective 4E-4 Private open space and balcony design maximises safety	Y	All open space areas have been designed to maximise safety
Changes in ground levels or landscaping are minimised.	N/A	
Design and detailing of balconies avoids opportunities for climbing and falls.	Y	

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PART 4F - COMMON CIRCULATION AND SPACES		
Objective 4F-1 Common circulation spaces achieve good amenity and properly service the number of apartments	Y	
The maximum number of apartments off a circulation core on a single level is eight	Y	
For buildings of 10 storeys and over, the maximum number of apartments sharing a single lift is 40	N/A	
Greater than minimum requirements for corridor widths and/ or ceiling heights allow comfortable movement and access particularly in entry lobbies, outside lifts and at apartment entry doors.	Y	Corridors and entry lobbies have been designed for comfortable movement and provide suitable widths to comply with accessibility requirements.
Daylight and natural ventilation should be provided to all common circulation spaces that are above ground.	Y	Corridors and lobbies have access to light and ventilation.
Windows should be provided in common circulation spaces and should be adjacent to the stair or lift core or at the ends of corridors.	Y	
Longer corridors greater than 12m in length from the lift core should be articulated. Design solutions may include: • a series of foyer areas with windows and spaces for seating • wider areas at apartment entry doors and varied ceiling heights	N/A	
Design common circulation spaces to maximise opportunities for dual aspect apartments, including multiple core apartment buildings and cross over apartments.	N/A	
Achieving the design criteria for the number of apartments off a circulation core may not be possible. Where a development is unable to achieve the design criteria, a high level of amenity for common lobbies, corridors and apartments should be demonstrated, including: • sunlight and natural cross ventilation in apartments • access to ample daylight and natural ventilation in common circulation spaces • common areas for seating and gathering • generous corridors with greater than minimum ceiling heights • other innovative design solutions that provide high levels of amenity	N/A	
Where design criteria 1 is not achieved, no more than 12 apartments should be provided off a circulation core on a single level	N/A	
Primary living room or bedroom windows should not open directly onto common circulation spaces, whether open or enclosed. Visual and acoustic privacy from common circulation spaces to any other rooms should be carefully controlled.	Y	
Objective 4F-2 Common circulation spaces promote safety and provide for social interaction between residents	Y	
Direct and legible access should be provided between vertical circulation points and apartment entries by minimising corridor or gallery length to give short, straight, clear sight lines.	Y	
Tight corners and spaces are avoided.	Y	
Circulation spaces should be well lit at night.	Y	
Legible signage should be provided for apartment numbers, common areas and general wayfinding.	Y	
Incidental spaces, for example space for seating in a corridor, at a stair landing, or near a window are provided.	N	
In larger developments, community rooms for activities such as owners corporation meetings or resident use should be provided and are ideally co-located with communal open space.	Y	A communal room has been provided at lower ground floor
Where external galleries are provided, they are more open than closed above the balustrade along their length.	N/A	

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PART 4G - STORAGE		
Objective 4G-1 Adequate, well designed storage is provided in each apartment	Y	
In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided: Studio: 4m3 1 Bedroom: 6m3 2 Bedroom: 8m3 3 Bedroom: 10m3 At least 50% of the required storage is to be located within the apartment.	Y	A minimum of 50% of the storage requirements has been provided in apartments. The remainder is provided at the lower ground level in secure storage zones.
Storage is accessible from either circulation or living areas.	Y	
Storage provided on balconies (in addition to the minimum balcony size) is integrated into the balcony design, weather proof and screened from view from the street.	N/A	
Left over space such as under stairs is used for storage.	N/A	
Objective 4G-2 Additional storage is conveniently located, accessible and nominated for individual apartments	Y	
Storage not located in apartments is secure and clearly allocated to specific apartments.	Y	
Storage is provided for larger and less frequently accessed items.	Y	
Storage space in internal or basement car parks is provided at the rear or side of car spaces or in cages so that allocated car parking remains accessible.	N/A	
If communal storage rooms are provided they should be accessible from common circulation areas of the building.	N/A	Noted
Storage not located in an apartment is integrated into the overall building design and is not visible from the public domain.	N/A	
PART 4H - ACOUSTIC PRIVACY		
Objective 4H-1 Noise transfer is minimised through the siting of buildings and building layout	Y	
Adequate building separation is provided within the development and from neighbouring buildings/adjacent uses (see also section 2F Building separation and section 3F Visual privacy).	Y	
Window and door openings are generally orientated away from noise sources.	Y	
Noisy areas within buildings including building entries and corridors should be located next to or above each other and quieter areas next to or above quieter areas	Y	The building layouts locate areas such as corridors and wet areas above each other to assist in maintaining acoutic privacy.
Storage, circulation areas and non-habitable rooms should be located to buffer noise from external sources.	Y	
The number of party walls (walls shared with other apartments) are limited and are appropriately insulated.	Y	
Noise sources such as garage doors, driveways, service areas, plant rooms, building services, mechanical equipment, active communal open spaces and circulation areas should be located at least 3m away from bedrooms.	Y	
Objective 4H-2 Noise impacts are mitigated within apartments through layout and acoustic treatments	Y	
Internal apartment layout separates noisy spaces from quiet spaces, using a number of the following design solutions: • rooms with similar noise requirements are grouped together • doors separate different use zones • wardrobes in bedrooms are co-located to act as sound buffers	Y	
Where physical separation cannot be achieved noise conflicts are resolved using the following design solutions: • double or acoustic glazing • acoustic seals • use of materials with low noise penetration properties • continuous walls to ground level courtyards where they do not conflict with streetscape or other amenity requirements	Y	Noted. As required.

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PART 4J - NOISE AND POLLUTION		
Objective 4J-1 In noisy or hostile environments the impacts of external noise and pollution are minimised through the careful siting and layout of buildings	Y	
To minimise impacts the following design solutions may be used: • physical separation between buildings and the noise or pollution source. • residential uses are located perpendicular to the noise source and where possible buffered by other uses. • non-residential buildings are sited to be parallel with the noise source to provide a continuous building that shields residential uses and communal open spaces. • non-residential uses are located at lower levels vertically separating the residential component from the noise or pollution source. Setbacks to the underside of residential floor levels should increase relative to traffic volumes and other noise sources. • buildings should respond to both solar access and noise. Where solar access is away from the noise source, nonhabitable rooms can provide a buffer • where solar access is in the same direction as the noise source, dual aspect apartments with shallow building depths are preferable (see figure 4J.4) • landscape design reduces the perception of noise and acts as a filter for air pollution generated by traffic and industry	Y	
Achieving the design criteria in this Apartment Design Guide may not be possible in some situations due to noise and pollution. Where developments are unable to achieve the design criteria, alternatives may be considered in the following areas: • solar and daylight access • private open space and balconies • natural cross ventilation	N/A	
Objective 4J-2 Appropriate noise shielding or attenuation techniques for the building design, construction and choice of materials are used to mitigate noise transmission	Y	
Design solutions to mitigate noise include: • limiting the number and size of openings facing noise sources • providing seals to prevent noise transfer through gaps • using double or acoustic glazing, acoustic louvres or enclosed balconies (wintergardens) • using materials with mass and/or sound insulation or absorption properties e.g. solid balcony balustrades, external screens and soffits.	Y	Glazing performance will be designed to mitigate external noise source to comply with the acoustic requirements of the BCA. Solid facade elements and insulation will be provided to assist in external noise reduction where applicable.
PART 4K - APARTMENT MIX		
Objective 4K-1 A range of apartment types and sizes is provided to cater for different household types now and into the future	Y	
A variety of apartment types is provided.	Y	
The apartment mix is appropriate, taking into consideration: • the distance to public transport, employment and education centres • the current market demands and projected future demographic trends • the demand for social and affordable housing • different cultural and socioeconomic groups.	Y	The apartment mix is based on projected market demand and specific locational factors such as transport and access to amenities.
Flexible apartment configurations are provided to support diverse household types and stages of life including single person households, families, multi-generational families and group households.	Y	The apartment mix and types provided in the proposed development cater for a wide range of users, ranging from single occupiers to families
Objective 4K-2 The apartment mix is distributed to suitable locations within the building	Y	
Different apartment types are located to achieve successful facade composition and to optimise solar access (see figure 4K.3).	Y	
Larger apartment types are located on the ground or roof level where there is potential for more open space and on corners where more building frontage is available.	Y	

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PART 4L - GROUND FLOOR APARTMENTS		
Objective 4L-1 Street frontage activity is maximised where ground floor apartments are located	N/A	
Direct street access should be provided to ground floor apartments.	N/A	Refer to previous comment
Activity is achieved through front gardens, terraces and the facade of the building. Design solutions may include: • both street, foyer and other common internal circulation entrances to ground floor apartments • private open space is next to the street • doors and windows face the street.	N/A	
Retail or home office spaces should be located along street frontages.	N/A	
Ground floor apartment layouts support small office home office (SOHO) use to provide future opportunities for conversion into commercial or retail areas. In these cases provide higher floor to ceiling heights and ground floor amenities for easy conversion.	N/A	
Objective 4L-2 Design of ground floor apartments delivers amenity and safety for residents	Y	
Privacy and safety should be provided without obstructing casual surveillance. Design solutions may include: • elevation of private gardens and terraces above the street level by 1-1.5m (see figure 4L.4) • landscaping and private courtyards • window sill heights that minimise sight lines into apartments • integrating balustrades, safety bars or screens with the exterior design	N/A	
Solar access should be maximised through: • high ceilings and tall windows • trees and shrubs that allow solar access in winter and shade in summer.	Y	Floor to ceiling windows have been introduced to main living areas to provide good levels of solar access.
PART 4M - FACADES		
Objective 4M-1 Building facades provide visual interest along the street while respecting the character of the local area	Y	The proposed building façade provides a simple yet sophisticated backdrop to the adjacent residential dwellings, while blending harmoniously with the more contemporary towers located to the south of the subject site.
Design solutions for front building facades may include: • a composition of varied building elements • a defined base, middle and top of buildings • revealing and concealing certain elements • changes in texture, material, detail and colour to modify the prominence of elements.	Y	
Building services should be integrated within the overall façade.	Y	
Building facades should be well resolved with an appropriate scale and proportion to the streetscape and human scale. Design solutions may include: • well composed horizontal and vertical elements • variation in floor heights to enhance the human scale • elements that are proportional and arranged in patterns • public artwork or treatments to exterior blank walls • grouping of floors or elements such as balconies and windows on taller buildings.	Y	The proposed design provides well resolved facades having appropriate levels of detail, and variance in articulation resulting in a high quality architectural outcome.
Building facades relate to key datum lines of adjacent buildings through upper level setbacks, parapets, cornices, awnings or colonnade heights.	N/A	The proposed building maintains the existing lower building structure and alignments.
Shadow is created on the facade throughout the day with building articulation, balconies and deeper window reveals.	Y	The building design with provide shadow relief through the introduction of slab edge recesses, inset windows to the lower levels, variation in façade materiality and fine grain detailing.
Objective 4M-2 Building functions are expressed by the façade	Y	
Building entries should be clearly defined.	Y	The existing building entry has been maintained and is clearly defined at the street front..
Important corners are given visual prominence through a change in articulation, materials or colour, roof expression or changes in height.	Y	
The apartment layout should be expressed externally through facade features such as party walls and floor slabs.	Y	

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PART 4N - ROOF DESIGN		
Objective 4N-1 Roof treatments are integrated into the building design and positively respond to the street	Y	
Roof design relates to the street. Design solutions may include: • special roof features and strong corners • use of skillion or very low pitch hipped roofs • breaking down the massing of the roof by using smaller elements to avoid bulk • using materials or a pitched form complementary to adjacent buildings.	Y	The top of the building has been designed as an extension of the buildings architectural expression providing a high quality and sophisticated architectural outcome appropriate to the site central CBD location.
Roof treatments should be integrated with the building design. Design solutions may include: • roof design proportionate to the overall building size, scale and form • roof materials compliment the building • service elements are integrated.	Y	
Objective 4N-2 Opportunities to use roof space for residential accommodation and open space are maximised	Y	
Habitable roof space should be provided with good levels of amenity. Design solutions may include: • penthouse apartments • dormer or clerestory windows • openable skylights.	Y	Communal open space has been provided to the top of the building.
Open space is provided on roof tops subject to acceptable visual and acoustic privacy, comfort levels, safety and security considerations.	Y	
Objective 4N-3 Roof design incorporates sustainability features	Y	The roof top has been landscaped reducing solar absorbtion, water filtration and providing habitat for local fauna.
Roof design maximises solar access to apartments during winter and provides shade during summer. Design solutions may include: • the roof lifts to the north • eaves and overhangs shade walls and windows from summer sun.	N/A	
Skylights and ventilation systems should be integrated into the roof design.	N/A	Additional roof ventilation systems or sylights are not required to achieve complianced with the ADG, with the proposed design achieving a high level of solar and ventilation compliance.
PART 4O - LANDSCAPE DESIGN		
Objective 4O-1 Landscape design is viable and sustainable	Y	
Landscape design should be environmentally sustainable and can enhance environmental performance by incorporating: • diverse and appropriate planting • bio-filtration gardens • appropriately planted shading trees • areas for residents to plant vegetables and herbs • composting • green roofs or walls.	Y	The proposal incorporates landscaping at the roof levels and will include diverse and appropriate planting.
Ongoing maintenance plans should be prepared.	Y	Landscaped areas are easily accessible from the roof terrace levels. To be prepared for OC stage.
Microclimate is enhanced by: • appropriately scaled trees near the eastern and western elevations for shade • a balance of evergreen and deciduous trees to provide shading in summer and sunlight access in winter • shade structures such as pergolas for balconies and courtyards.	Y	
Tree and shrub selection considers size at maturity and the potential for roots to compete (see Table 4).	Y	
Objective 4O-2 Landscape design contributes to the streetscape and amenity	Y	Roof top landscaping provides amenity when viewed from the surrounding areas.
Landscape design responds to the existing site conditions including: • changes of levels • views • significant landscape features including trees and rock outcrops.	Y	
Significant landscape features should be protected by: • tree protection zones (see figure 4O.5) • appropriate signage and fencing during construction.	N/A	The existing site conditions are built out.
Plants selected should be endemic to the region and reflect the local ecology.	Y	

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PART 4P - PLANTING ON STRUCTURES		
Objective 4P-1 Appropriate soil profiles are provided	Y	
Structures are reinforced for additional saturated soil weight.	Y	
Soil volume is appropriate for plant growth, considerations include: • modifying depths and widths according to the planting mix and irrigation frequency • free draining and long soil life span • tree anchorage.	Y	Proposed soil volumes over structure will be suitable for shrubs and screen planting.
Minimum soil standards for plant sizes should be provided in accordance with Table 5.	Y	
Objective 4P-2 Plant growth is optimised with appropriate selection and maintenance	Y	
Plants are suited to site conditions, considerations include: • drought and wind tolerance • seasonal changes in solar access • modified substrate depths for a diverse range of plants • plant longevity.	Y	
A landscape maintenance plan is prepared.	Y	To be prepared at CC stage.
Irrigation and drainage systems respond to: • changing site conditions • soil profile and the planting regime • whether rainwater, stormwater or recycled grey water is used.	Y	The landscaped areas will be irrigated. To be prepared at CC stage.
Objective 4P-3 Planting on structures contributes to the quality and amenity of communal and public open spaces	Y	
Building design incorporates opportunities for planting on structures. Design solutions may include: • green walls with specialised lighting for indoor green walls • wall design that incorporates planting • green roofs, particularly where roofs are visible from the public domain • planter boxes Note: structures designed to accommodate green walls should be integrated into the building facade and consider the ability of the facade to change over time.	Y	Planter boxes over structure will be incorporated into the architectural design at the upper roof levels.
PART 4Q - UNIVERSAL DESIGN		
Objective 4Q-1 Universal design features are included in apartment design to promote flexible housing for all community members	Y	
Developments achieve a benchmark of 20% of the total apartments incorporating the Livable Housing Guideline's silver level universal design features.	Y	20% of apartments will meet this requirement as noted in the ADG
Objective 4Q-2 A variety of apartments with adaptable designs are provided	Y	
Adaptable housing should be provided in accordance with the relevant council policy.	N/A	Given the limited number of dwellings in the development (5 apartments) adaptable apartments are not required under the council controls
Design solutions for adaptable apartments include: • convenient access to communal and public areas • high level of solar access • minimal structural change and residential amenity loss when adapted • larger car parking spaces for accessibility • parking titled separately from apartments or shared car parking arrangements.	N/A	
Objective 4Q-3 Apartment layouts are flexible and accommodate a range of lifestyle needs	Y	
Apartment design incorporates flexible design solutions which may include: • rooms with multiple functions • dual master bedroom apartments with separate bathrooms • larger apartments with various living space options • open plan 'loft' style apartments with only a fixed kitchen, laundry and bathroom.	N/A	

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PART 4R - ADAPTIVE REUSE		
Objective 4R-1 New additions to existing buildings are contemporary and complementary and enhance an area's identity and sense of place	Y	
Design solutions may include: • new elements to align with the existing building • additions that complement the existing character, siting, scale, proportion, pattern, form and detailing • use of contemporary and complementary materials, finishes, textures and colours.	Y	The proposal includes the adaptive reuse of the existing building and will use contemporary and complimentary materials.
Additions to heritage items should be clearly identifiable from the original building.	N/A	
Objective 4R-2 Adapted buildings provide residential amenity while not precluding future adaptive reuse	Y	
New additions allow for the interpretation and future evolution of the building	Y	
Design features should be incorporated sensitively into adapted buildings to make up for any physical limitations, to ensure residential amenity is achieved. Design solutions may include: • generously sized voids in deeper buildings • alternative apartment types when orientation is poor • using additions to expand the existing building envelope.	Y	The proposed adaptive reuse design provides additional residential levels over the existing built structure with careful consideration to apartment planning and façade treatments to ensure a high level of amenity is provided to the development and its surrounds.
Some proposals that adapt existing buildings may not be able to achieve all of the design criteria in this Apartment Design Guide. Where developments are unable to achieve the design criteria, alternatives could be considered in the following areas: • where there are existing higher ceilings, depths of habitable rooms could increase subject to demonstrating access to natural ventilation, cross ventilation (when applicable) and solar and daylight access (see also sections 4A Solar and daylight access and 4B Natural ventilation) • alternatives to providing deep soil where less than the minimum requirement is currently available on the site • building and visual separation – subject to demonstrating alternative design approaches to achieving privacy • common circulation • car parking • alternative approaches to private open space and balconies.	Y	The proposal provides a number of design solutions in relation to building and visual separation as part of the adaptive design solution. These solutions ensure that privacy and amenity is maintained to the existing surrounding developments. Alternative arrangements to private open space have been proposed by providing increased communal open space for the development. Refer to architectural design report.
PART 4S - MIXED USE		
Objective 4S-1 Mixed use developments are provided in appropriate locations and provide active street frontages that encourage pedestrian movement	N/A	
Mixed use development should be concentrated around public transport and centres.	N/A	
Mixed use developments positively contribute to the public domain. Design solutions may include: • development addresses the street • active frontages are provided • diverse activities and uses • avoiding blank walls at the ground level • live/work apartments on the ground floor level, rather than commercial.	N/A	
Objective 4S-2 Residential levels of the building are integrated within the development, and safety and amenity is maximised for residents	N/A	
Residential circulation areas should be clearly defined. Design solutions may include: • residential entries are separated from commercial entries and directly accessible from the street • commercial service areas are separated from residential components • residential car parking and communal facilities are separated or secured • security at entries and safe pedestrian routes are provided • concealment opportunities are avoided	N/A	
Landscaped communal open space should be provided at podium or roof levels.	N/A	

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PART 4T - AWNINGS AND SIGNAGE		
Objective 4T-1 Awnings are well located and complement and integrate with the building design	N/A	
Awnings should be located along streets with high pedestrian activity and active frontages.	N/A	
A number of the following design solutions are used: • continuous awnings are maintained and provided in areas with an existing pattern • height, depth, material and form complements the existing street character • protection from the sun and rain is provided • awnings are wrapped around the secondary frontages of corner sites • awnings are retractable in areas without an established pattern.	N/A	
Awnings should be located over building entries for building address and public domain amenity.	N/A	Undercover entries are provided to lobbies.
Awnings relate to residential windows, balconies, street tree planting, power poles and street infrastructure.	N/A	
Gutters and down pipes should be integrated and concealed.	N/A	
Lighting under awnings should be provided for pedestrian safety.	N/A	
Objective 4T-2 Signage responds to the context and desired streetscape character	Y	
Signage should be integrated into the building design and respond to the scale, proportion and detailing of the development.	Y	Noted and to be integrated in final design.
Legible and discrete way finding should be provided for larger developments.	Y	Noted and to be integrated in final design.
Signage is limited to being on and below awnings and a single facade sign on the primary street frontage.	Y	Noted and to be integrated in final design.
PART 4U - ENERGY EFFICIENCY		
Objective 4U-1 Development incorporates passive environmental design	Y	
Adequate natural light is provided to habitable rooms (see 4A Solar and daylight access).	Y	The design fully complies.
Well located, screened outdoor areas should be provided for clothes drying.	N	Energy efficient clothes dryer will be provided to the apartments.
Objective 4U-2 Development incorporates passive solar design to optimise heat storage in winter and reduce heat transfer in summer	Y	
A number of the following design solutions are used: • the use of smart glass or other technologies on north and west elevations • thermal mass in the floors and walls of north facing rooms is maximised • polished concrete floors, tiles or timber rather than carpet • insulated roofs, walls and floors and seals on window and door openings • overhangs and shading devices such as awnings, blinds and screens	Y	Noted and to be integrated in final design where appropriate.
Provision of consolidated heating and cooling infrastructure should be located in a centralised location (e.g. the basement)	Y	
Objective 4U-3 Adequate natural ventilation minimises the need for mechanical ventilation	Y	
A number of the following design solutions are used: • rooms with similar usage are grouped together • natural cross ventilation for apartments is optimised • natural ventilation is provided to all habitable rooms and as many non-habitable rooms, common areas and circulation spaces as possible.	Y	

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PART 4V - WATER MANAGEMENT AND CONSERVATION		
Objective 4V-1 Potable water use is minimised	Y	
Water efficient fittings, appliances and wastewater reuse should be incorporated.	Y	Refer to Basix Certificate
Apartments should be individually metered.	Y	As required by local authorities
Rainwater should be collected, stored and reused on site.	Y	Refer to Basix Certificate
Drought tolerant, low water use plants should be used within landscaped areas.	Y	
Objective 4V-2 Urban stormwater is treated on site before being discharged to receiving waters	Y	
Water sensitive urban design systems are designed by a suitably qualified professional.	Y	
A number of the following design solutions are used: • runoff is collected from roofs and balconies in water tanks and plumbed into toilets, laundry and irrigation • porous and open paving materials is maximised • on site stormwater and infiltration, including bio-retention systems such as rain gardens or street tree pits.	Y	Provision is made to collect and detain all stormwater in accordance with Authority requirements.
Objective 4V-3 Flood management systems are integrated into site design	Y	
Detention tanks should be located under paved areas, driveways or in basement car parks.	N/A	Refer to civil stormwater documentation
On large sites parks or open spaces are designed to provide temporary on site detention basins.	N/A	
PART 4W - WASTE MANAGEMENT		
Objective 4W-1 Waste storage facilities are designed to minimise impacts on the streetscape, building entry and amenity of residents	Y	
Adequately sized storage areas for rubbish bins should be located discreetly away from the front of the development or in the basement car park.	Y	Refer Waste Management Report
Waste and recycling storage areas should be well ventilated.	Y	
Circulation design allows bins to be easily manoeuvred between storage and collection points.	Y	Refer Waste Management Report
Temporary storage should be provided for large bulk items such as mattresses.	Y	Refer Waste Management Report
A waste management plan should be prepared.	Y	
Objective 4W-2 Domestic waste is minimised by providing safe and convenient source separation and recycling	Y	
All dwellings should have a waste and recycling cupboard or temporary storage area of sufficient size to hold two days worth of waste and recycling.	Y	
Communal waste and recycling rooms are in convenient and accessible locations related to each vertical core.	Y	
For mixed use developments, residential waste and recycling storage areas and access should be separate and secure from other uses.	N.A	
Alternative waste disposal methods such as composting should be provided.	Y	Refer Waste Management Report

Design Criteria Item
Design Guidance Item

APARTMENT DESIGN GUIDE COMPLIANCE SUMMARY

DESIGN CRITERIA OR GUIDANCE	COMPLIANCE	ADDITIONAL COMMENTS
PART 4X - BUILDING MAINTENANCE		
Objective 4X-1 Building design detail provides protection from weathering	Y	
A number of the following design solutions are used: • roof overhangs to protect walls • hoods over windows and doors to protect openings • detailing horizontal edges with drip lines to avoid staining of surfaces • methods to eliminate or reduce planter box leaching • appropriate design and material selection for hostile locations	Y	A number of features such as robust material selectionand appropriate façade design and detailing have been incoproated into the design to provide protection to areas of the building façade prolonging the need for building maintainance.
Objective 4X-2 Systems and access enable ease of maintenance	Y	
Window design enables cleaning from the inside of the building.	N/A	Awning windows with opening restrictors are used for safety, in accordance with BCA requirements. Window cleaning is envisaged to be performed from the roof top area down, via davit arm and safety harness or similar. Maintenance personel are able to traverse the building facade and detach at either the level 2 roof terrace area or at street level on Jenkins St.
Building maintenance systems should be incorporated and integrated into the design of the building form, roof and façade.	Y	The building will include integrated safety harness points and removeable davit arms from the roof perimeter framing and roof deck levels allowing for building maintenance while being unobtrusive. Screened plant and equipment is located at level 2 and within the building footprint of the building at the lower ground level ensuring easy access for maintenance while being unobtrusive.
Design solutions do not require external scaffolding for maintenance access.	Y	As above.
Manually operated systems such as blinds, sunshades and curtains are used in preference to mechanical systems.	Y	A combination of manual and automated systems will be incorporated into the building design to suit compliance and residents expect
Centralised maintenance, services and storage should be provided for communal open space areas within the building.	Y	
Objective 4X-3 Material selection reduces ongoing maintenance costs	Y	
A number of the following design solutions are used: • sensors to control artificial lighting in common circulation and spaces • natural materials that weather well and improve with time such as face brickwork • easily cleaned surfaces that are graffiti resistant • robust and durable materials and finishes are used in locations which receive heavy wear and tear, such as common circulation areas and lift interiors	Y	Sensors will be installed to control artificial lighting in common circulation spaces Robust and durable materials and finishes have been incoproated into the building to provide longevity and minimise building maintainence.

11.0 Appendix

11.1 Architectural Drawings

206

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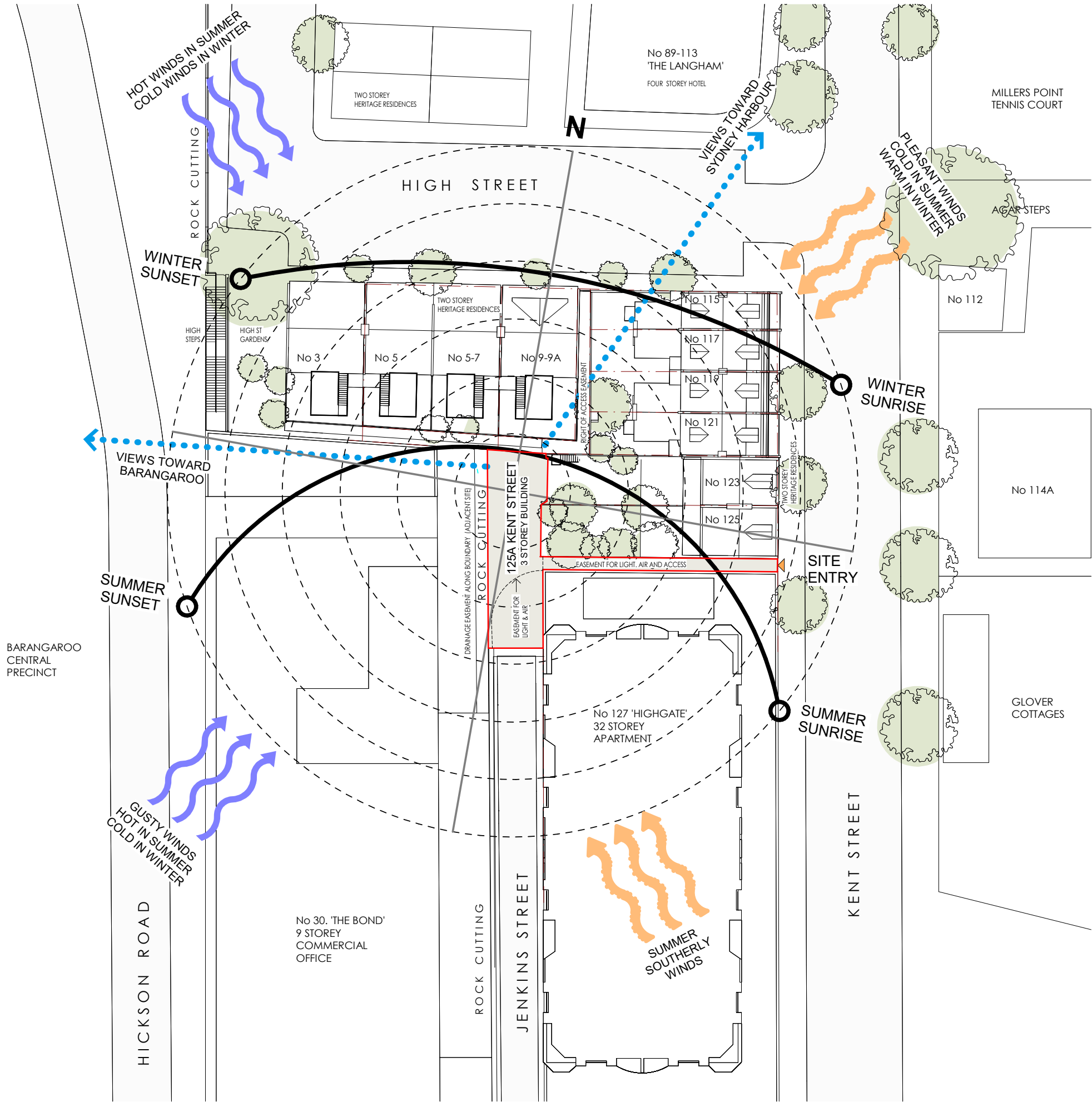
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PROJECT:
125A KENT STREET - MILLERS POINT

PROJECT NO:	SCALE AT A1:
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DRAWING NO:	REV:
A0.10	C



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JEFFREY INTERNATIONAL PTY LTD

PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:
SITE ANALYSIS

PROJECT NO: 90022	SCALE AT A1: 1 : 250
DRAWING NO: A0.20	REV: C

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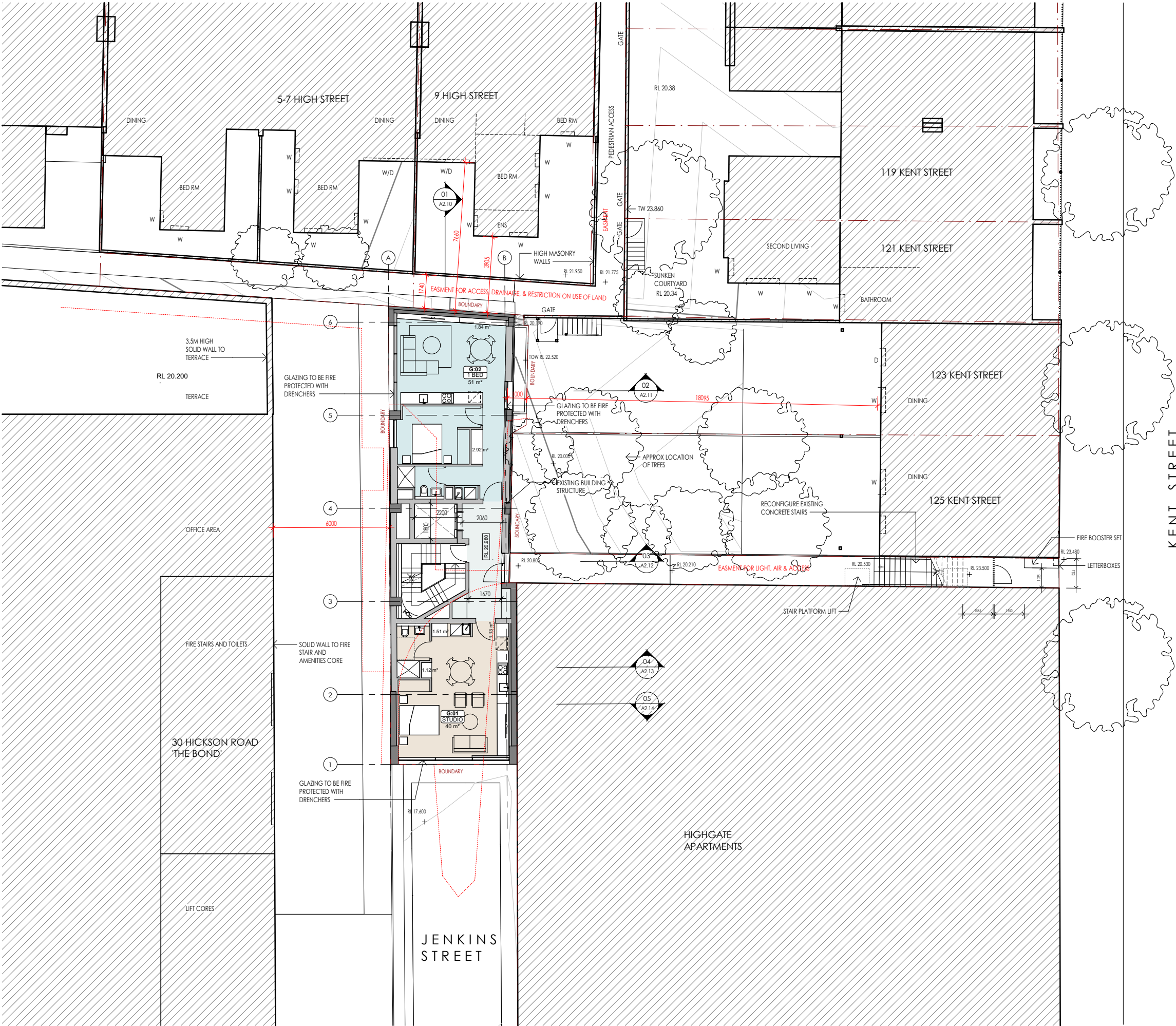
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DRAWING TITLE:

LOWER GROUND FLOOR PLAN

PROJECT NO:	SCALE AT A1:
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DRAWING NO: **A1.10** REV: **C**



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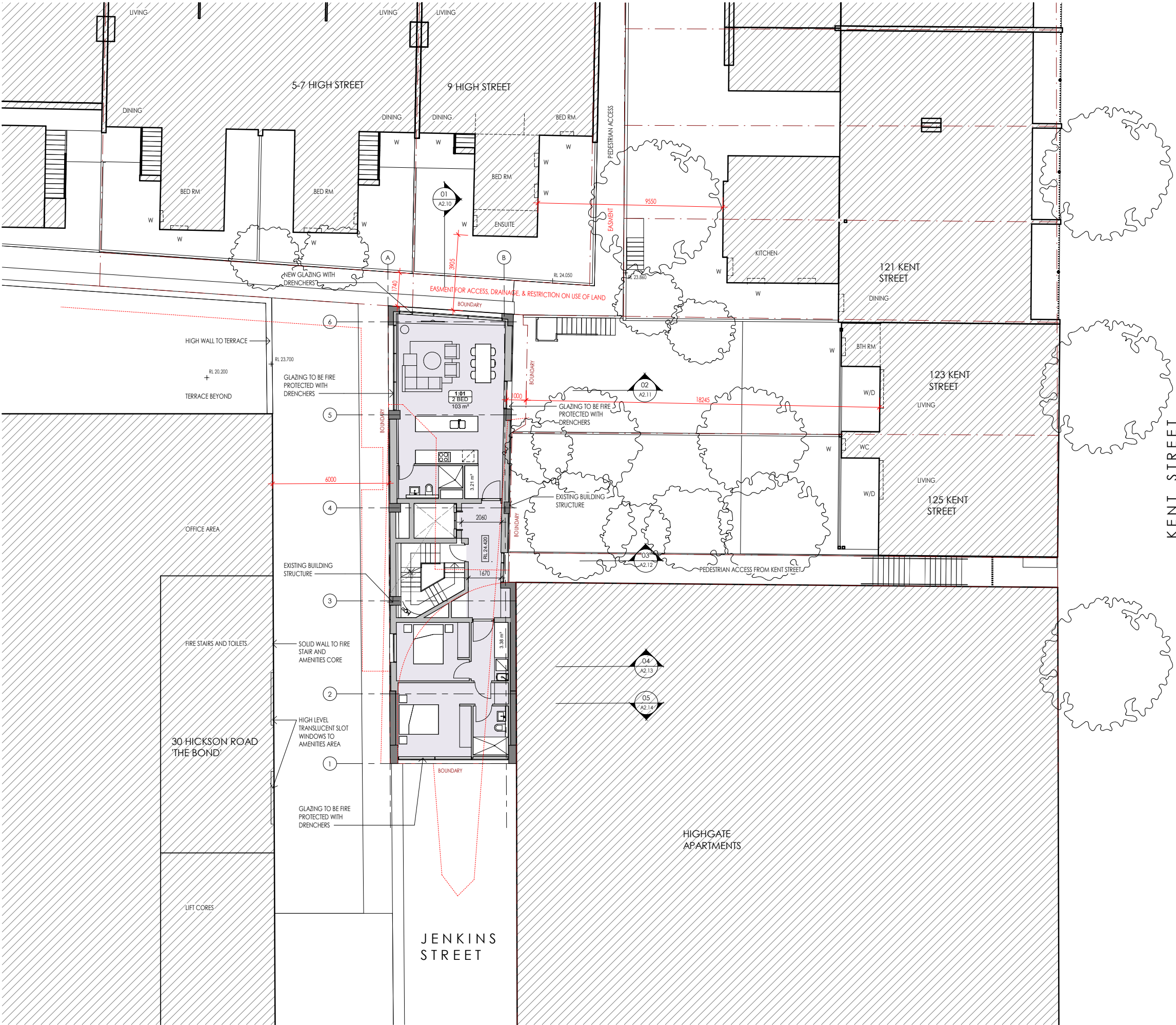
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PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:
GROUND FLOOR PLAN

PROJECT NO: 90022
SCALE AT A1: 1 : 100

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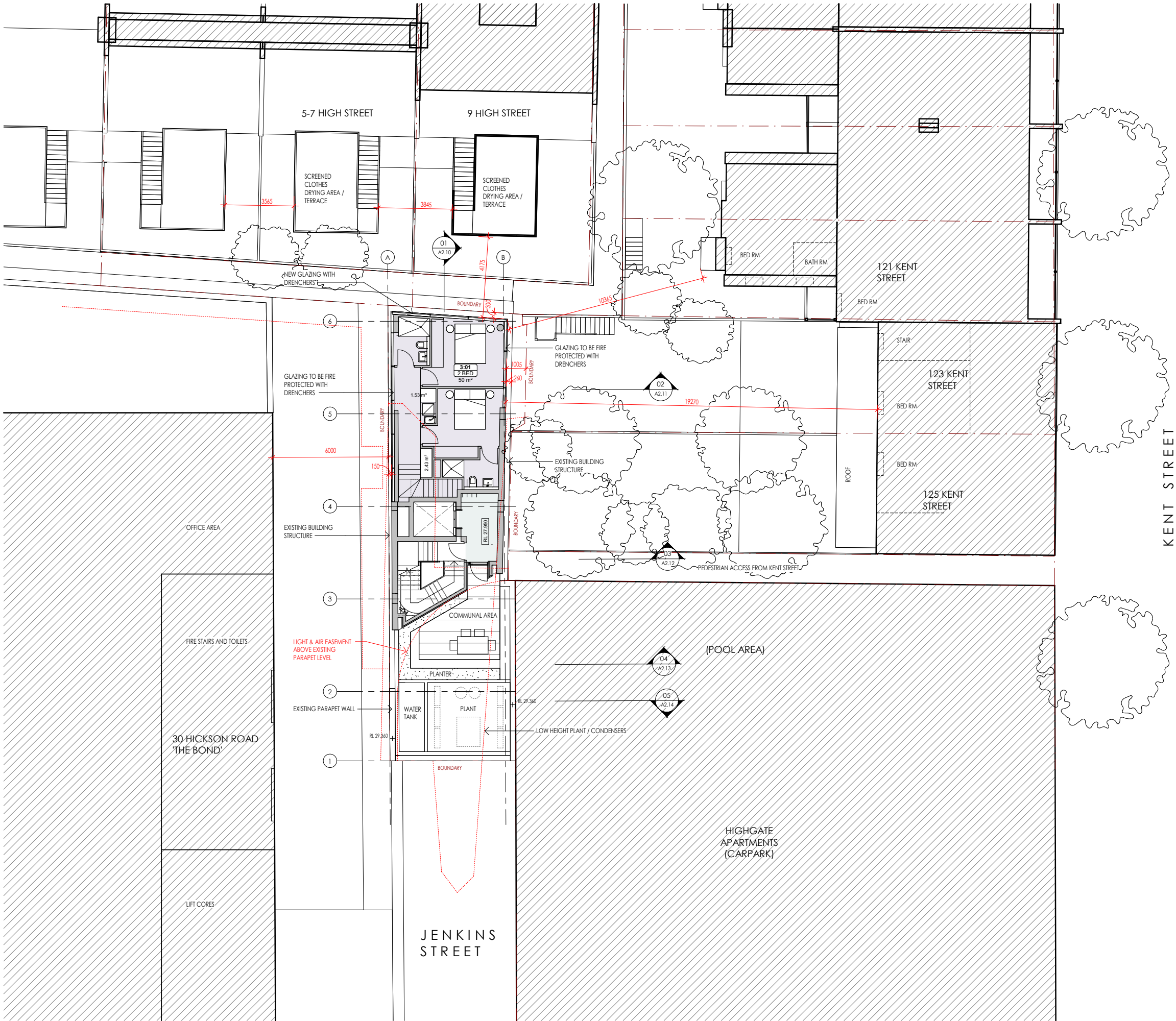
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LEVEL 1 PLAN

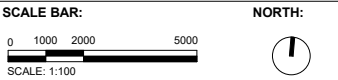
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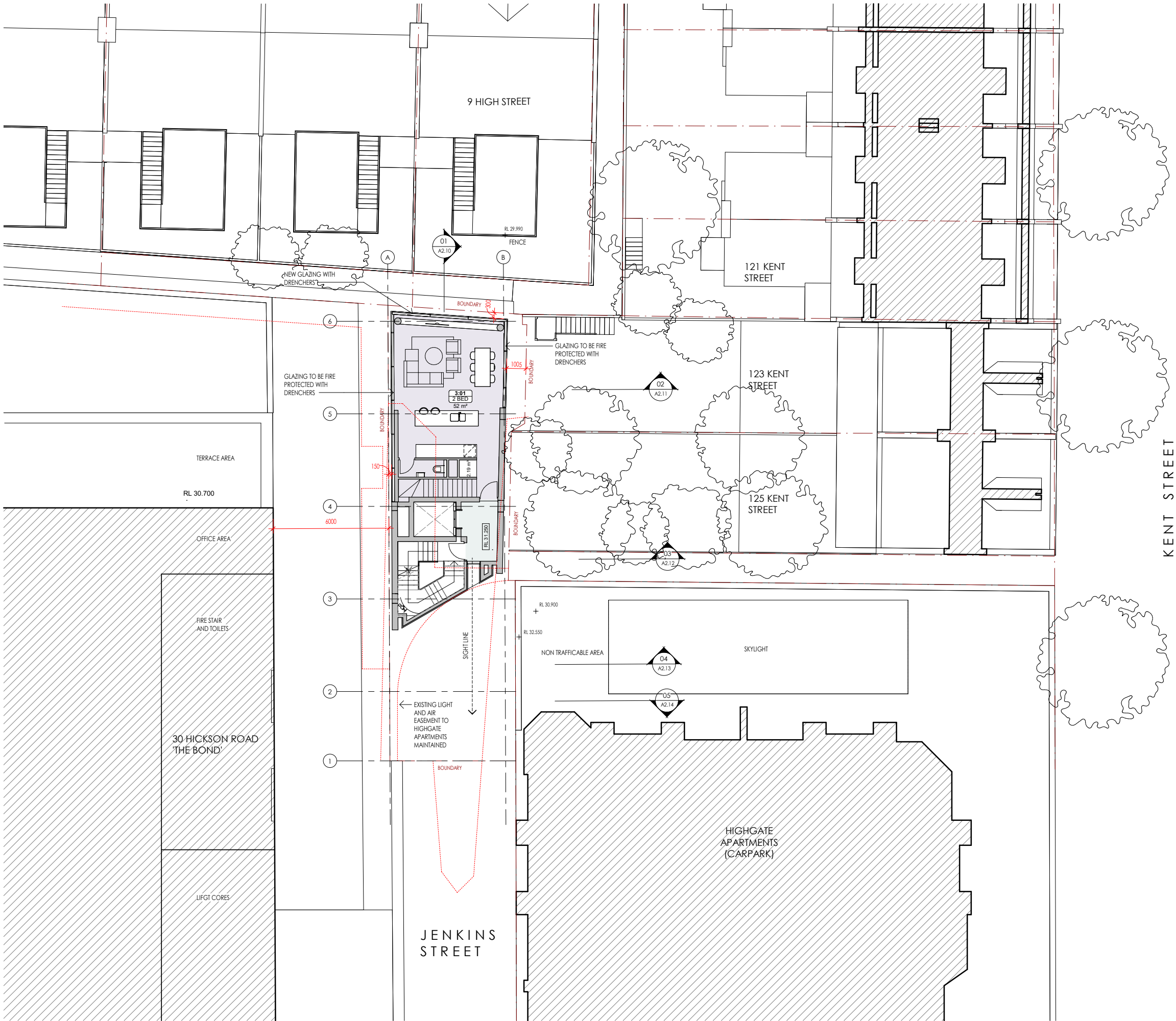
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PROJECT NO: 90022 **SCALE AT A1:** 1 : 100

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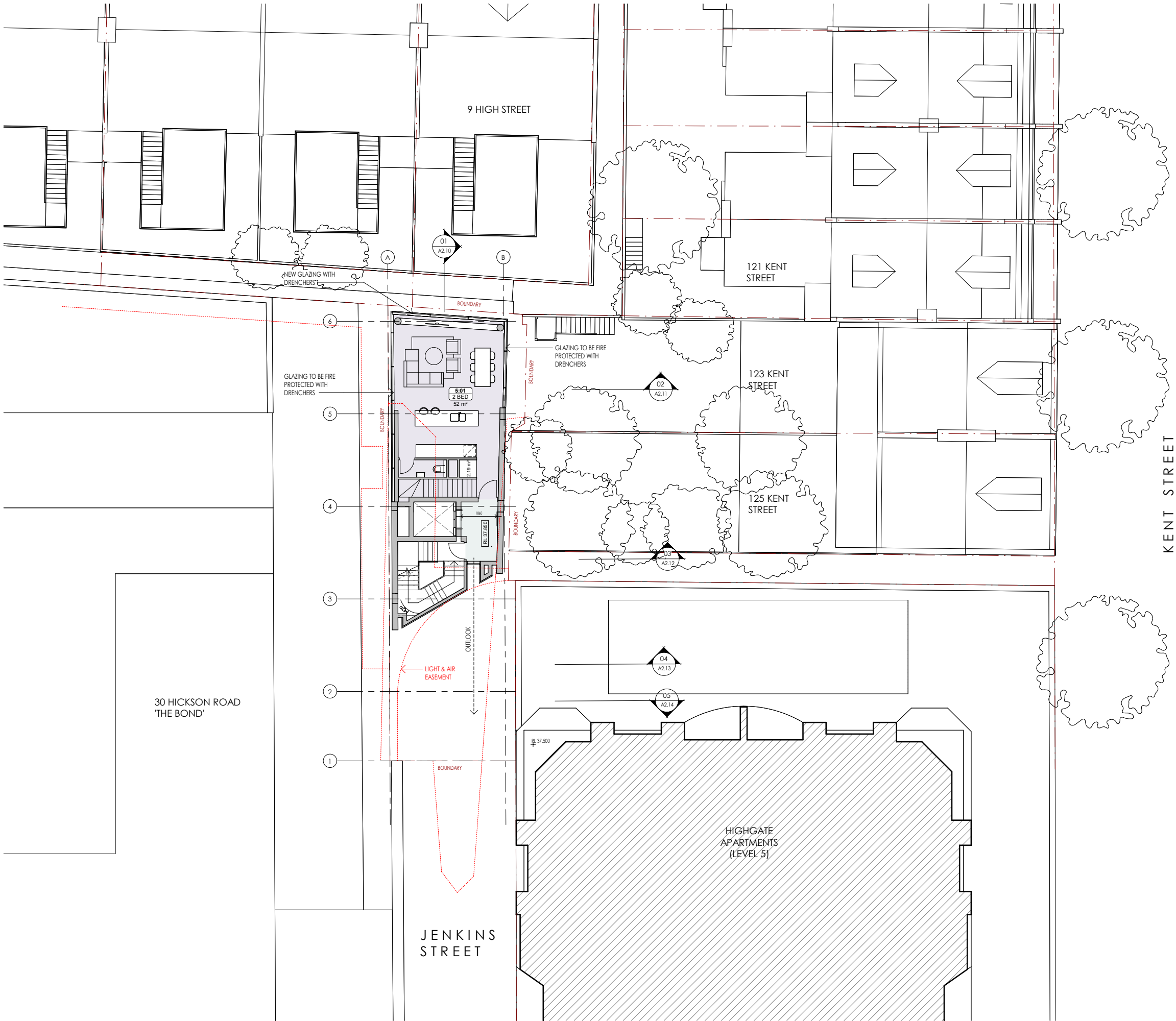
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LEVEL 3 PLAN

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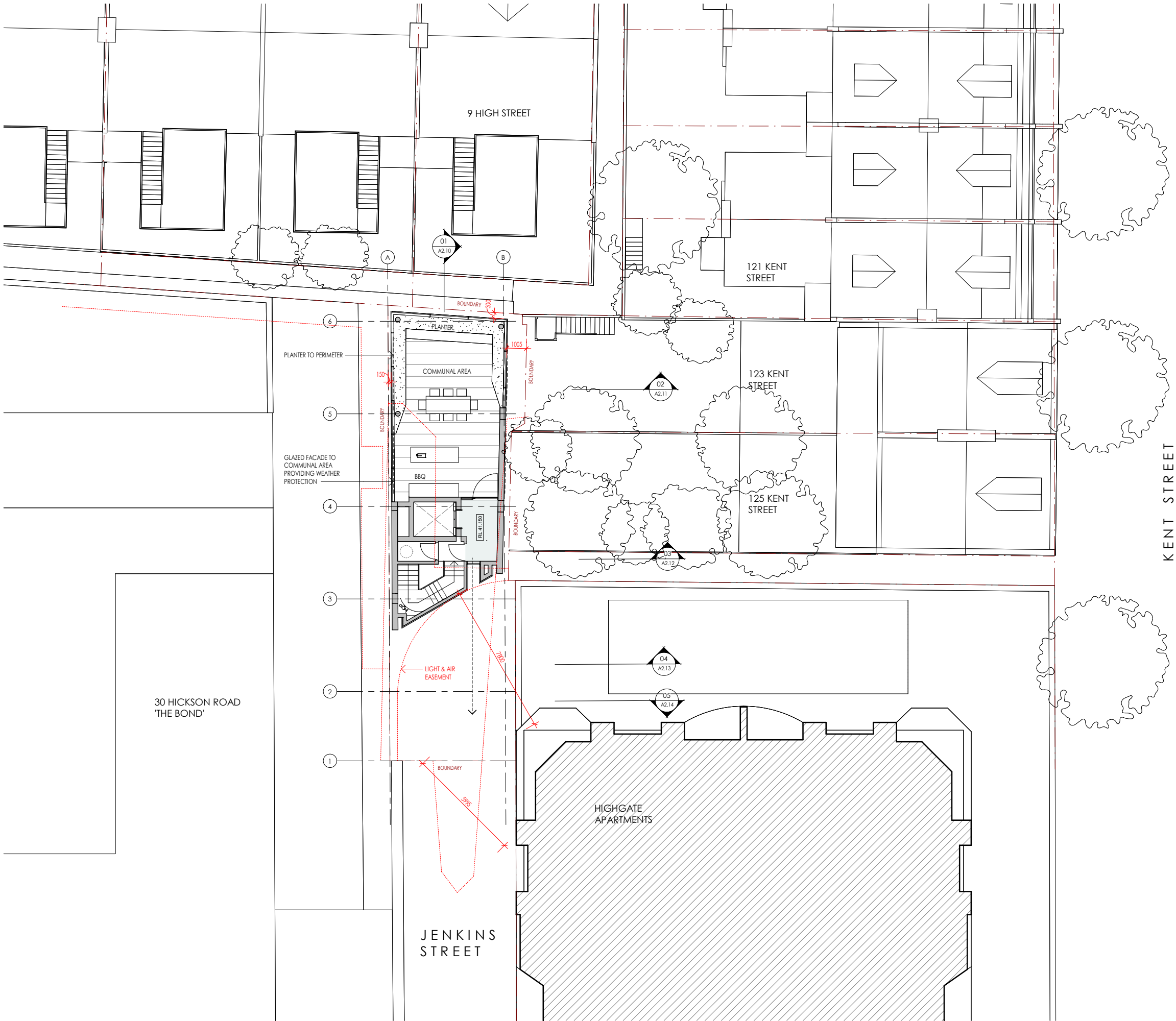
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LEVEL 5 PLAN

PROJECT NO: 90022
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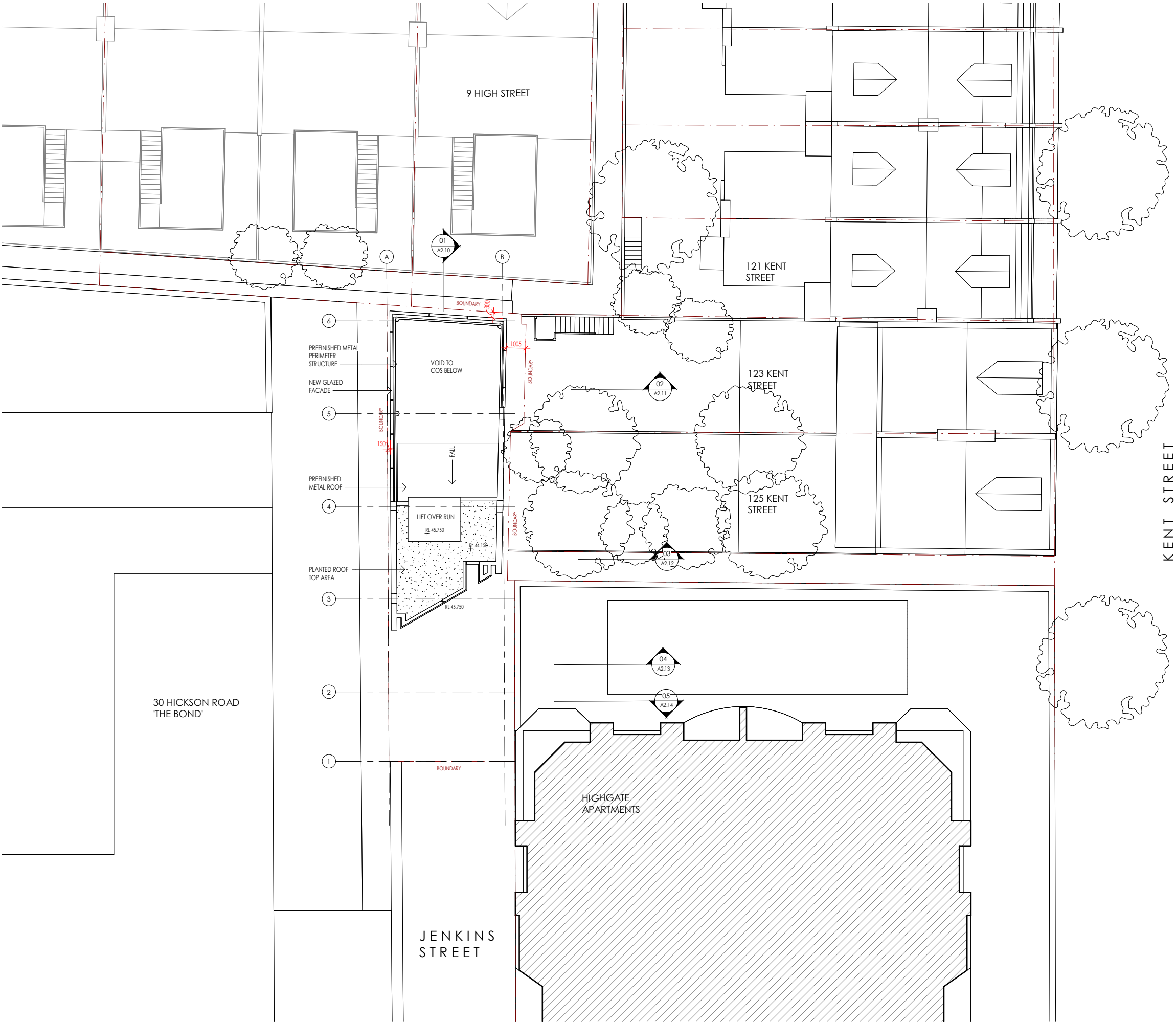
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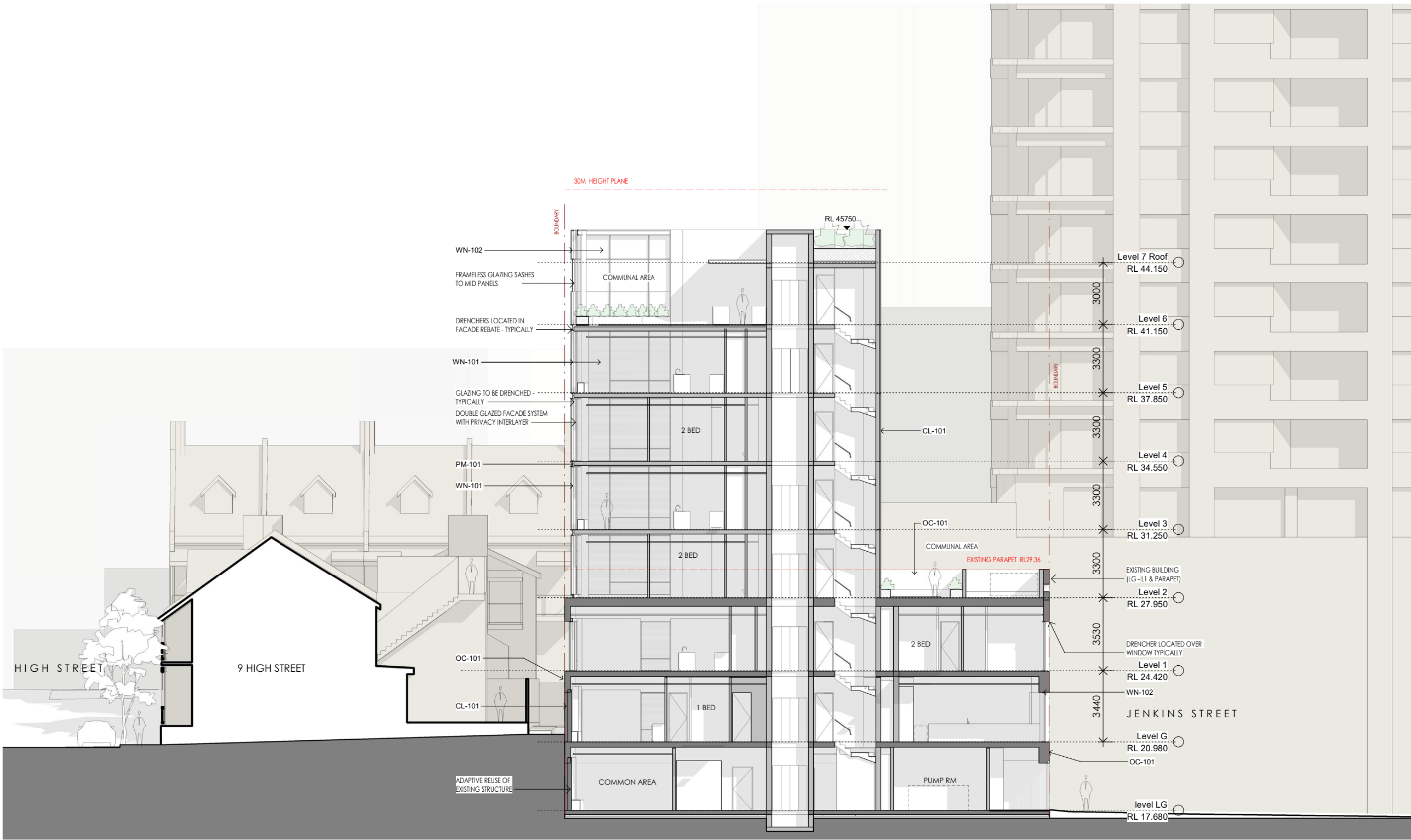
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FINISHES LEGEND

WINDOWS		
WN-101	ALUMINIUM FRAMED DOUBLE GLAZING	- DARK BRONZE ANODISED
WN-102	ALUMINIUM FRAMED SINGLE GLAZING	- DARK BRONZE ANODISED

WALLS AND CLADDING		
OC-101	OFF FORM CONCRETE	- MINERAL SILICATE STAIN
CL-101	METAL CLADDING	- ANODISED DARK BRONZE
GRC-101	GLASS REINFORCED CONCRETE	- SANDSTONE FINISH

PAVERS		
PV-101	METAL CLADDING	- DARK BRONZE ANODISED

SCREENS		
SC-101	PREFINISHED METAL	- DARK BRONZE ANODISED

MISCELLANEOUS		
PF-101	PAINT FINISH	- TO MATCH CLADDING - DARK BRONZE
PM-101	PREFINISHED METAL	- TO MATCH CLADDING - DARK BRONZE

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SECTION 01

PROJECT NO: 90022 **SCALE AT A1:** As indicated

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FINISHES LEGEND

WINDOWS		
WN-101	ALUMINIUM FRAMED DOUBLE GLAZING	
	- DARK BRONZE ANODISED	
	- 'OKALUX' SYSTEM WITH PRIVACY BLADE INTERLAYER	
WN-102	ALUMINIUM FRAMED SINGLE GLAZING	
	- DARK BRONZE ANODISED	

WALLS AND CLADDING		
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CL-101	METAL CLADDING	- ANODISED DARK BRONZE
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PAVERS		
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SCREENS		
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MISCELLANEOUS		
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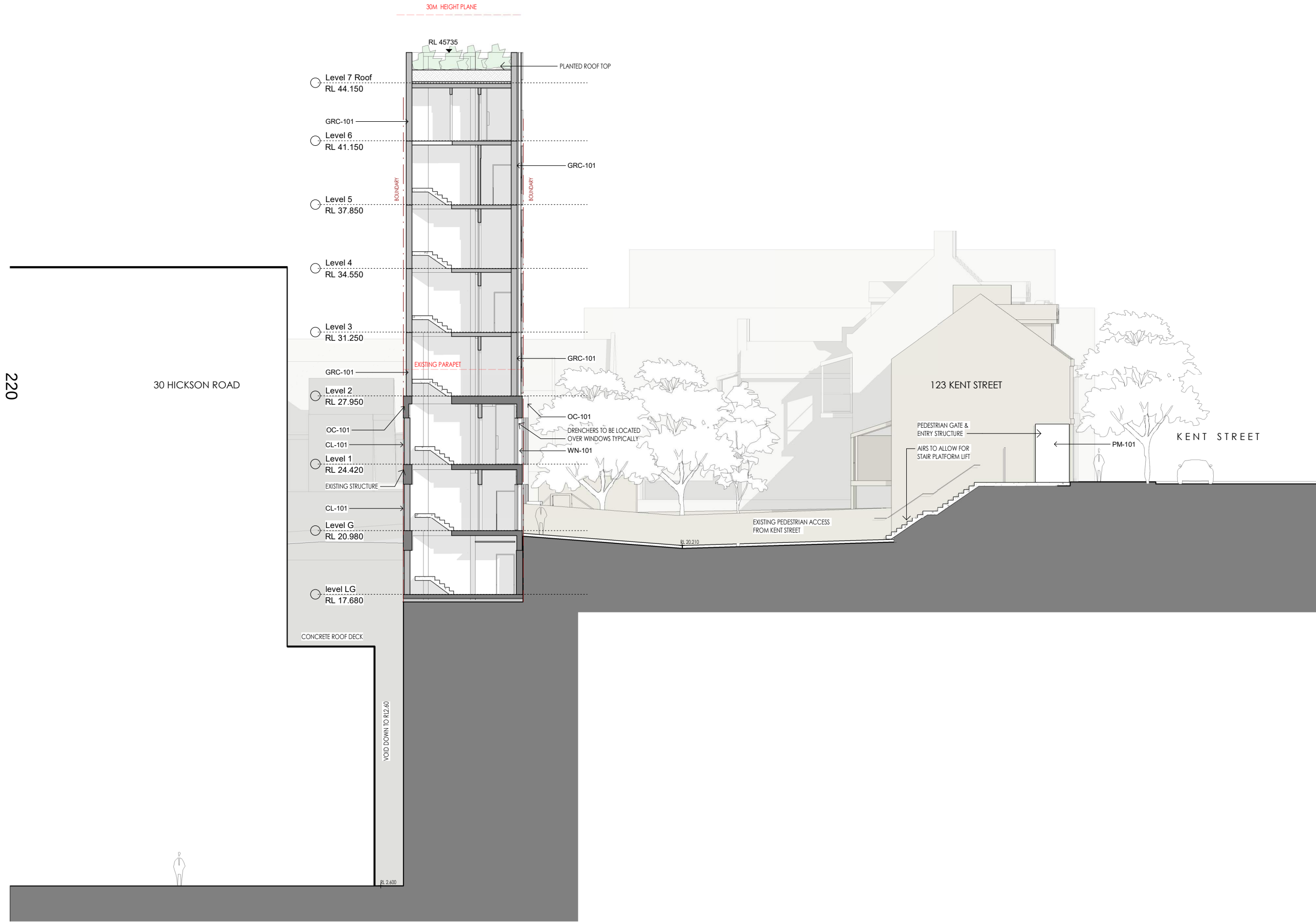
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SECTION 02

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FINISHES LEGEND

WINDOWS		
WN-101	ALUMINIUM FRAMED DOUBLE GLAZING	
	- DARK BRONZE ANODISED	
	- 'OKALUX' SYSTEM WITH PRIVACY BLADE INTERLAYER	
WN-102	ALUMINIUM FRAMED SINGLE GLAZING	
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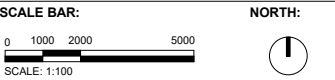
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PAVERS		
PV-101	METAL CLADDING	- DARK BRONZE ANODISED

SCREENS		
SC-101	PREFINISHED METAL	- DARK BRONZE ANODISED

MISCELLANEOUS		
PF-101	PAINT FINISH	- TO MATCH CLADDING - DARK BRONZE
PM-101	PREFINISHED METAL	- TO MATCH CLADDING - DARK BRONZE

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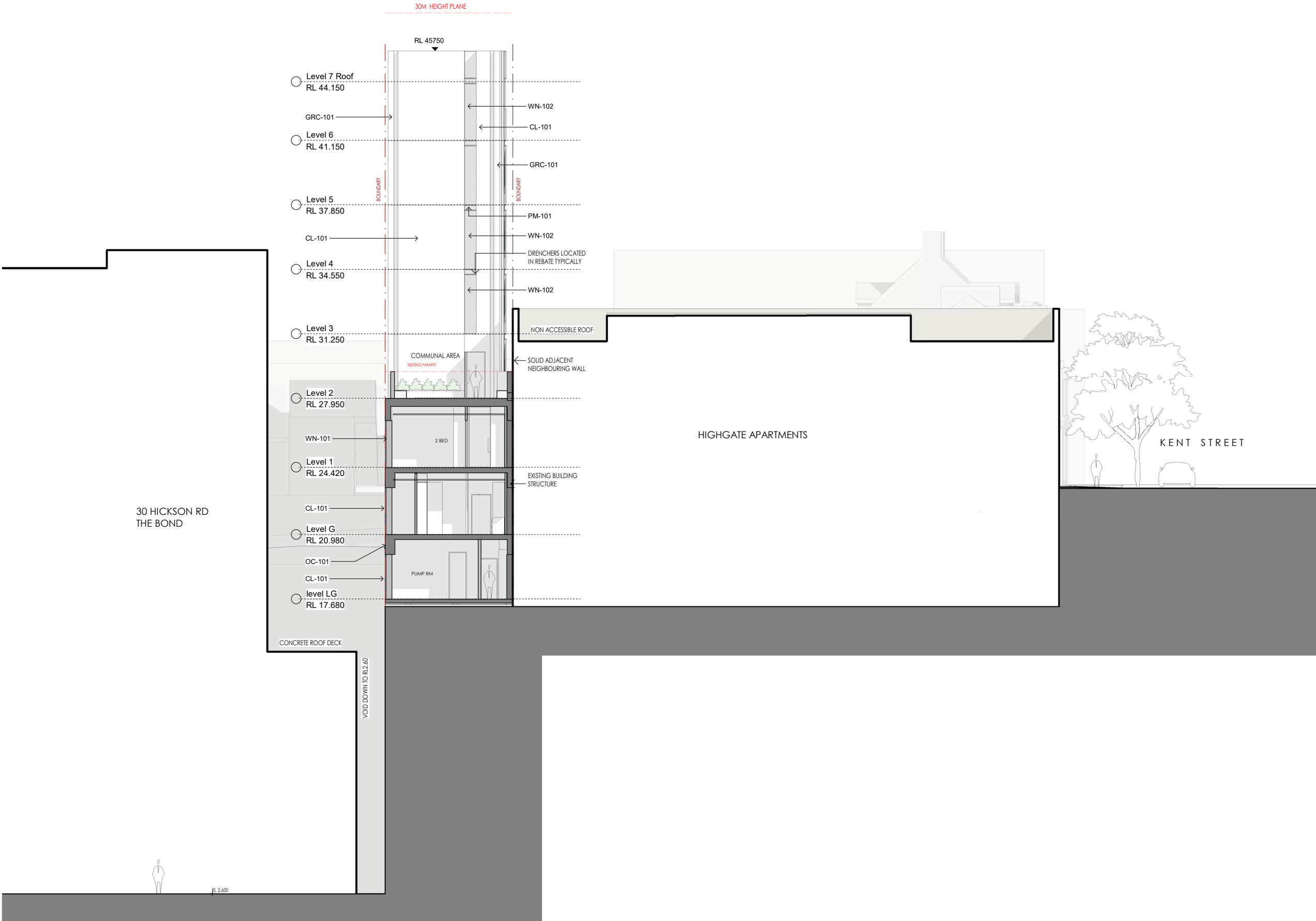
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SECTION 03

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	- 'OKALUX' SYSTEM WITH PRIVACY BLADE INTERLAYER	
WN-102	ALUMINIUM FRAMED SINGLE GLAZING	
	- DARK BRONZE ANODISED	

WALLS AND CLADDING		
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CL-101	METAL CLADDING	- ANODISED DARK BRONZE
GRC-101	GLASS REINFORCED CONCRETE	- SANDSTONE FINISH

PAVERS		
PV-101	METAL CLADDING	- DARK BRONZE ANODISED

SCREENS		
SC-101	PREFINISHED METAL	- DARK BRONZE ANODISED

MISCELLANEOUS		
PF-101	PAINT FINISH	- TO MATCH CLADDING - DARK BRONZE
PM-101	PREFINISHED METAL	- TO MATCH CLADDING - DARK BRONZE

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PROJECT:
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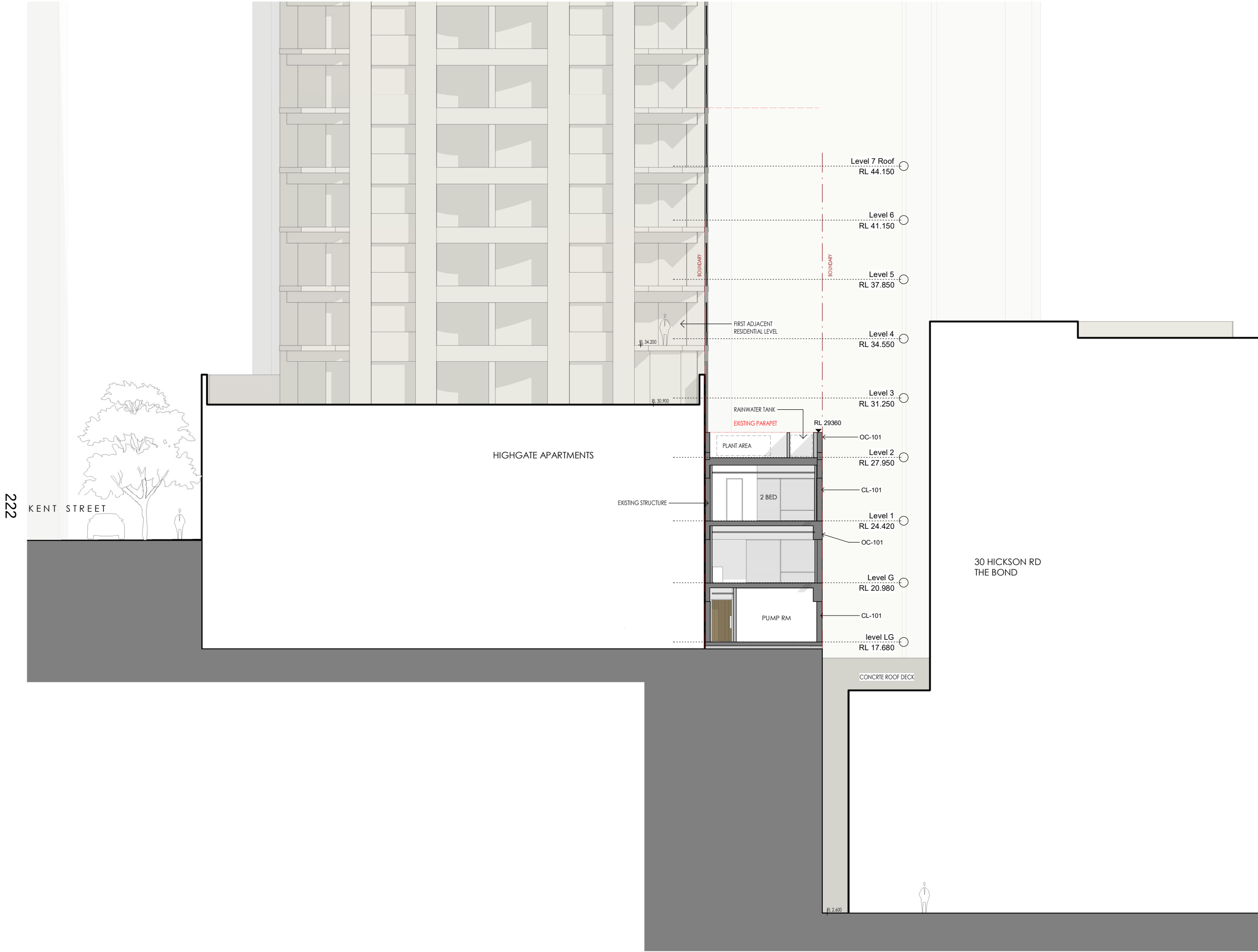
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FINISHES LEGEND

WINDOWS		
WN-101	ALUMINIUM FRAMED DOUBLE GLAZING	
	- DARK BRONZE ANODISED	
	- 'OKALUX' SYSTEM WITH PRIVACY BLADE INTERLAYER	
WN-102	ALUMINIUM FRAMED SINGLE GLAZING	
	- DARK BRONZE ANODISED	

WALLS AND CLADDING		
OC-101	OFF FORM CONCRETE	- MINERAL SILICATE STAIN
CL-101	METAL CLADDING	- ANODISED DARK BRONZE
GRC-101	GLASS REINFORCED CONCRETE	- SANDSTONE FINISH

PAVERS		
PV-101	METAL CLADDING	- DARK BRONZE ANODISED

SCREENS		
SC-101	PREFINISHED METAL	- DARK BRONZE ANODISED

MISCELLANEOUS		
PF-101	PAINT FINISH	- TO MATCH CLADDING - DARK BRONZE

PM-101	PREFINISHED METAL	- TO MATCH CLADDING - DARK BRONZE
--------	-------------------	-----------------------------------

C	Issued For DA	04.08.25	MC
B	Issued For Information	25.06.25	MC
REV	DESCRIPTION	DATE	BY
DRN	CHK	APP	



Cortese

Cortese Associates Pty Ltd
ABN 25 677 415 002
NSW Nominated Architect Andrew Cortese 6652
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Sydney NSW 2000
E info@corteseassociates.ac

CLIENT:
JEFFREY INTERNATIONAL PTY LTD

PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:

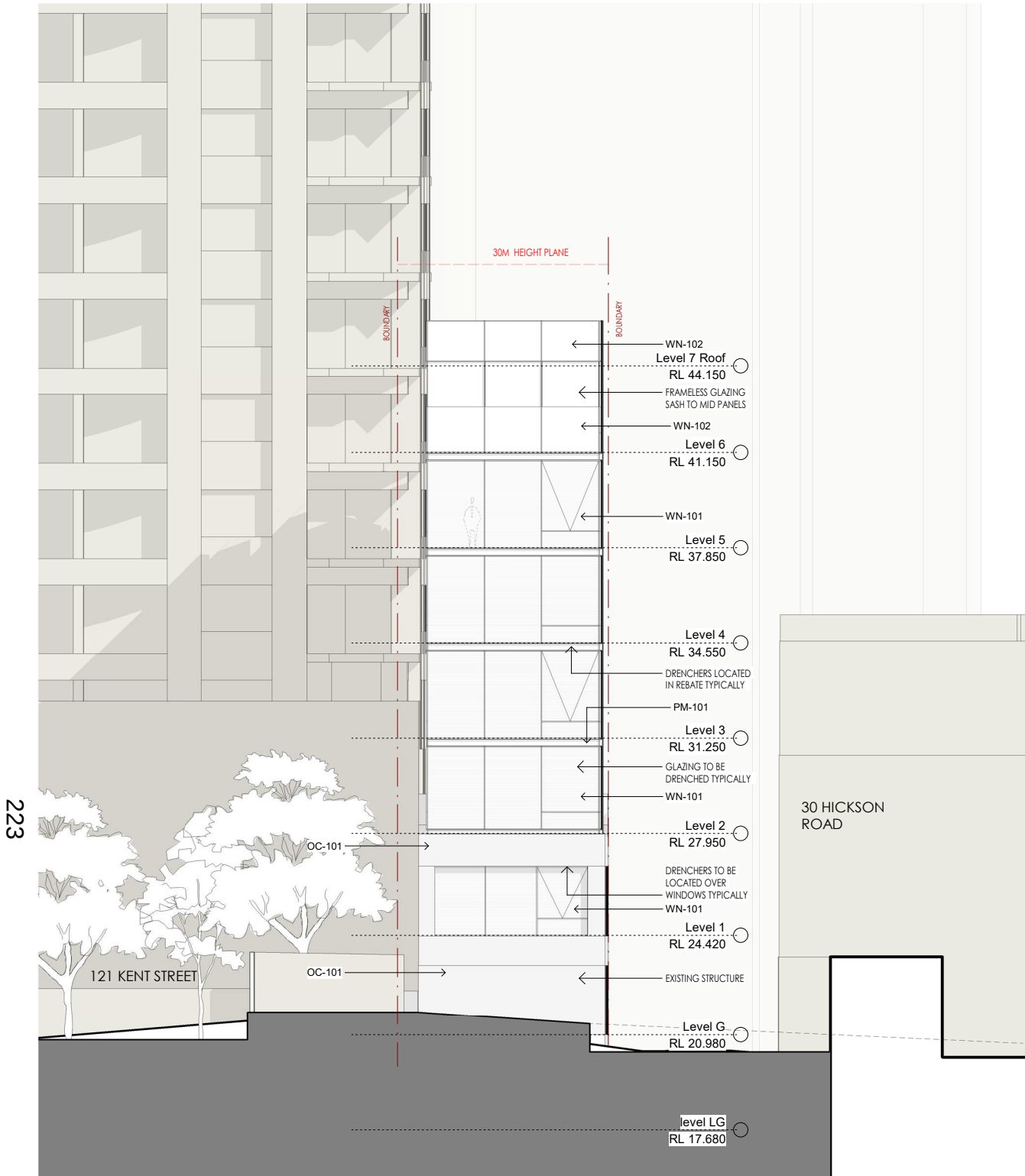
SECTION 05

PROJECT NO:
90022

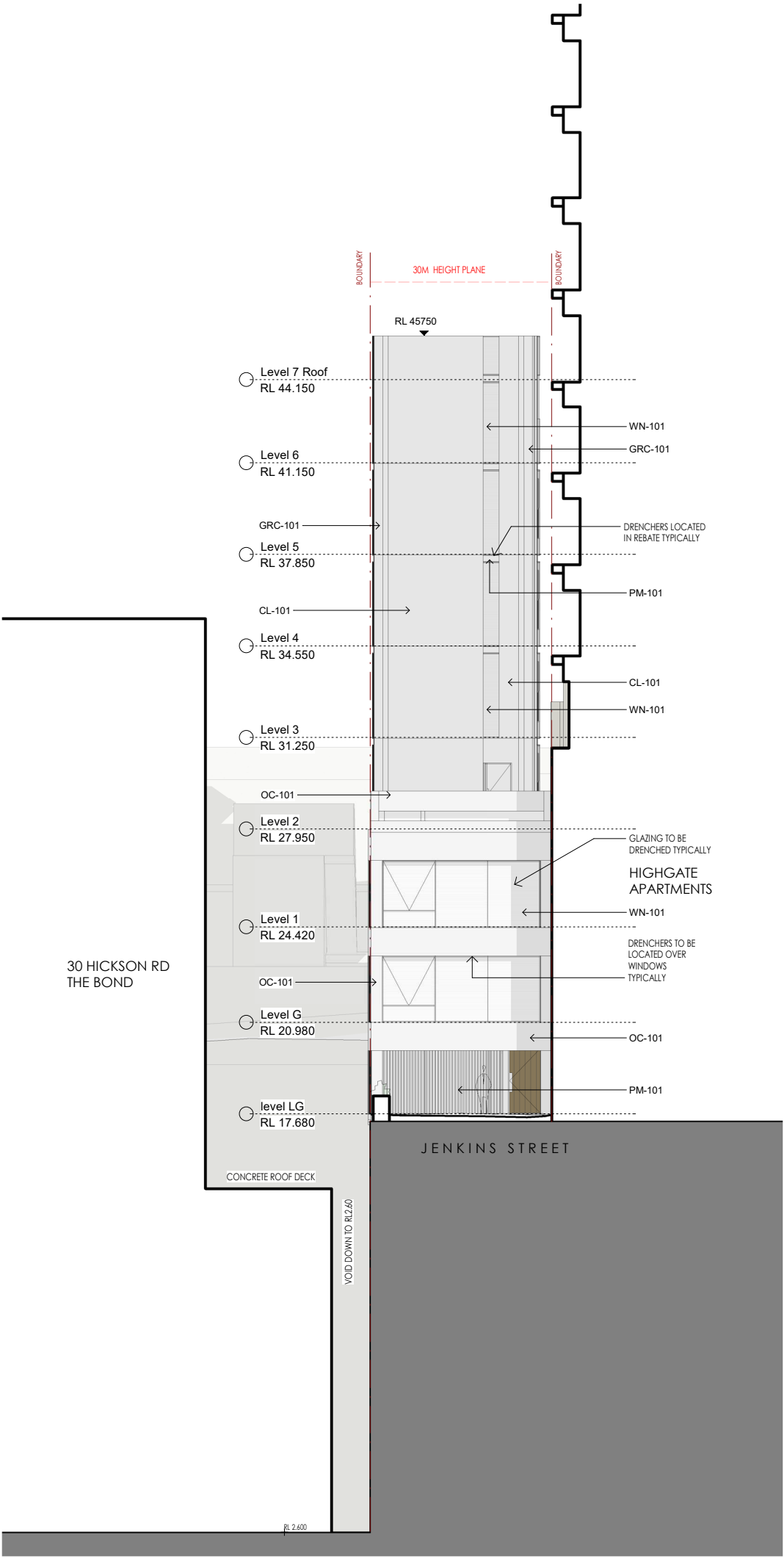
SCALE AT A1:
As indicated

DRAWING NO:
A2.14

REV:
C



Elevation - North



Elevation - South

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FINISHES LEGEND

WINDOWS

WN-101	ALUMINIUM FRAMED DOUBLE GLAZING - DARK BRONZE ANODISED - 'OKALUX' SYSTEM WITH PRIVACY BLADE INTERLAYER
WN-102	ALUMINIUM FRAMED SINGLE GLAZING - DARK BRONZE ANODISED

WALLS AND CLADDING

OC-101	OFF FORM CONCRETE	- MINERAL SILICATE STAIN
CL-101	METAL CLADDING	- ANODISED DARK BRONZE
GRC-101	GLASS REINFORCED CONCRETE	- SANDSTONE FINISH

PAVERS

PV-101	METAL CLADDING	- DARK BRONZE ANODISED
--------	----------------	------------------------

SCREENS

SC-101	PREFINISHED METAL	- DARK BRONZE ANODISED
--------	-------------------	------------------------

MISCELLANEOUS

PF-101	PAINT FINISH	- TO MATCH CLADDING - DARK BRONZE
PM-101	PREFINISHED METAL	- TO MATCH CLADDING - DARK BRONZE

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SCALE BAR:



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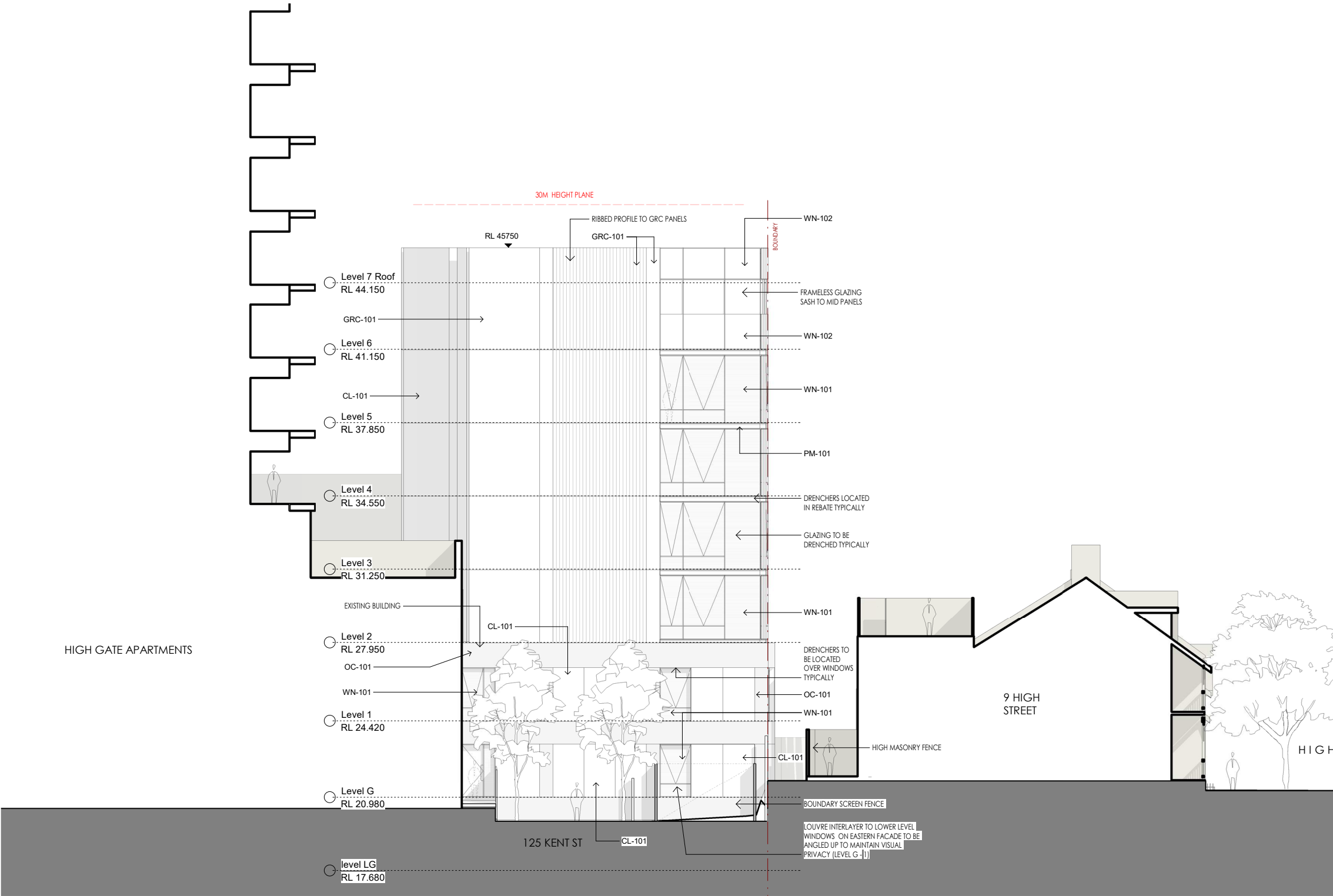
PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:

ELEVATIONS - NORTH & SOUTH

PROJECT NO: 90022 **SCALE AT A1:** As indicated

DRAWING NO: A3.10 **REV:** C



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FINISHES LEGEND

WINDOWS		
WN-101	ALUMINIUM FRAMED DOUBLE GLAZING	- DARK BRONZE ANODISED
	- 'OKALUX' SYSTEM WITH PRIVACY BLADE INTERLAYER	
WN-102	ALUMINIUM FRAMED SINGLE GLAZING	- DARK BRONZE ANODISED

WALLS AND CLADDING		
OC-101	OFF FORM CONCRETE	- MINERAL SILICATE STAIN
CL-101	METAL CLADDING	- ANODISED DARK BRONZE
GRC-101	GLASS REINFORCED CONCRETE	- SANDSTONE FINISH

PAVERS		
PV-101	METAL CLADDING	- DARK BRONZE ANODISED

SCREENS		
SC-101	PREFINISHED METAL	- DARK BRONZE ANODISED

MISCELLANEOUS		
PF-101	PAINT FINISH	- TO MATCH CLADDING - DARK BRONZE
PM-101	PREFINISHED METAL	- TO MATCH CLADDING - DARK BRONZE

REV	DESCRIPTION	DATE	BY
DRN	CHK	APP	

SCALE BAR:

0 1000 2000 5000

SCALE: 1:100

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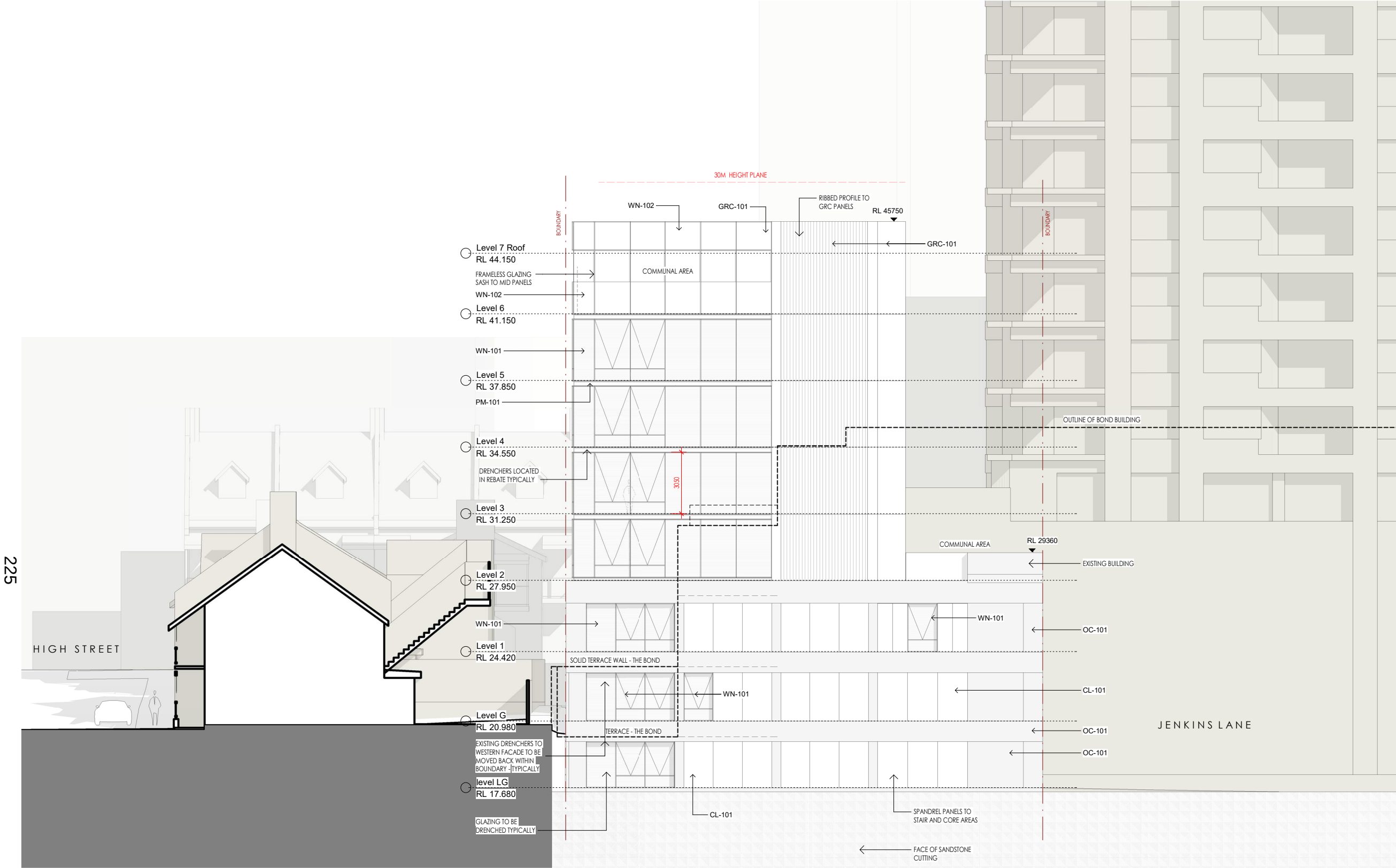
PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:

ELEVATIONS EAST

PROJECT NO: 90022 **SCALE AT A1:** As indicated

DRAWING NO: A3.11 **REV:** C



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FINISHES LEGEND

WINDOWS		
WN-101	ALUMINIUM FRAMED DOUBLE GLAZING	- DARK BRONZE ANODISED
	- 'OKALUX' SYSTEM WITH PRIVACY BLADE INTERLAYER	
WN-102	ALUMINIUM FRAMED SINGLE GLAZING	- DARK BRONZE ANODISED

WALLS AND CLADDING		
OC-101	OFF FORM CONCRETE	- MINERAL SILICATE STAIN
CL-101	METAL CLADDING	- ANODISED DARK BRONZE
GRC-101	GLASS REINFORCED CONCRETE	- SANDSTONE FINISH

PAVERS		
PV-101	METAL CLADDING	- DARK BRONZE ANODISED

SCREENS		
SC-101	PREFINISHED METAL	- DARK BRONZE ANODISED

MISCELLANEOUS		
PF-101	PAINT FINISH	- TO MATCH CLADDING - DARK BRONZE
PM-101	PREFINISHED METAL	- TO MATCH CLADDING - DARK BRONZE

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SCALE BAR:

0 1000 2000 5000

SCALE: 1:100

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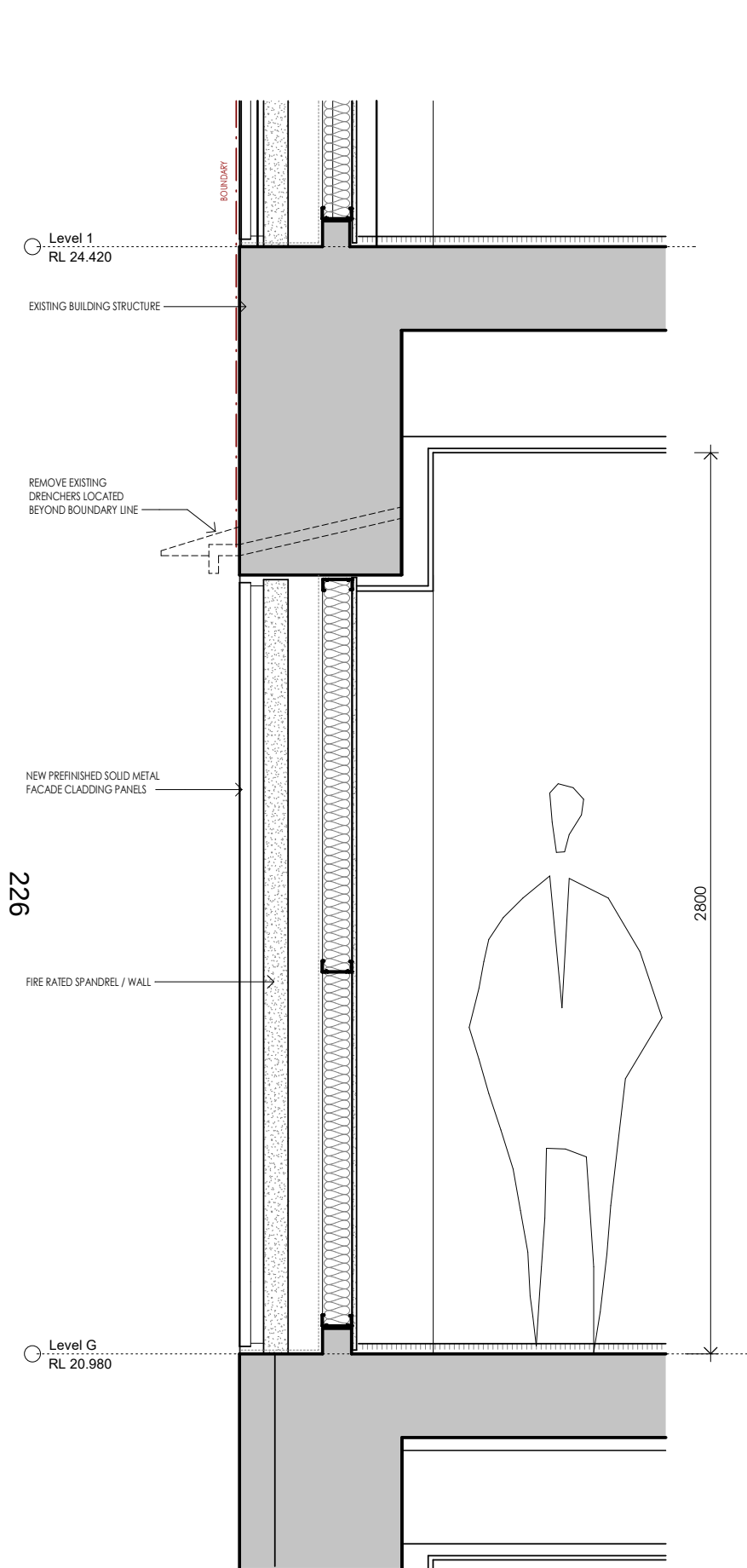
PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:

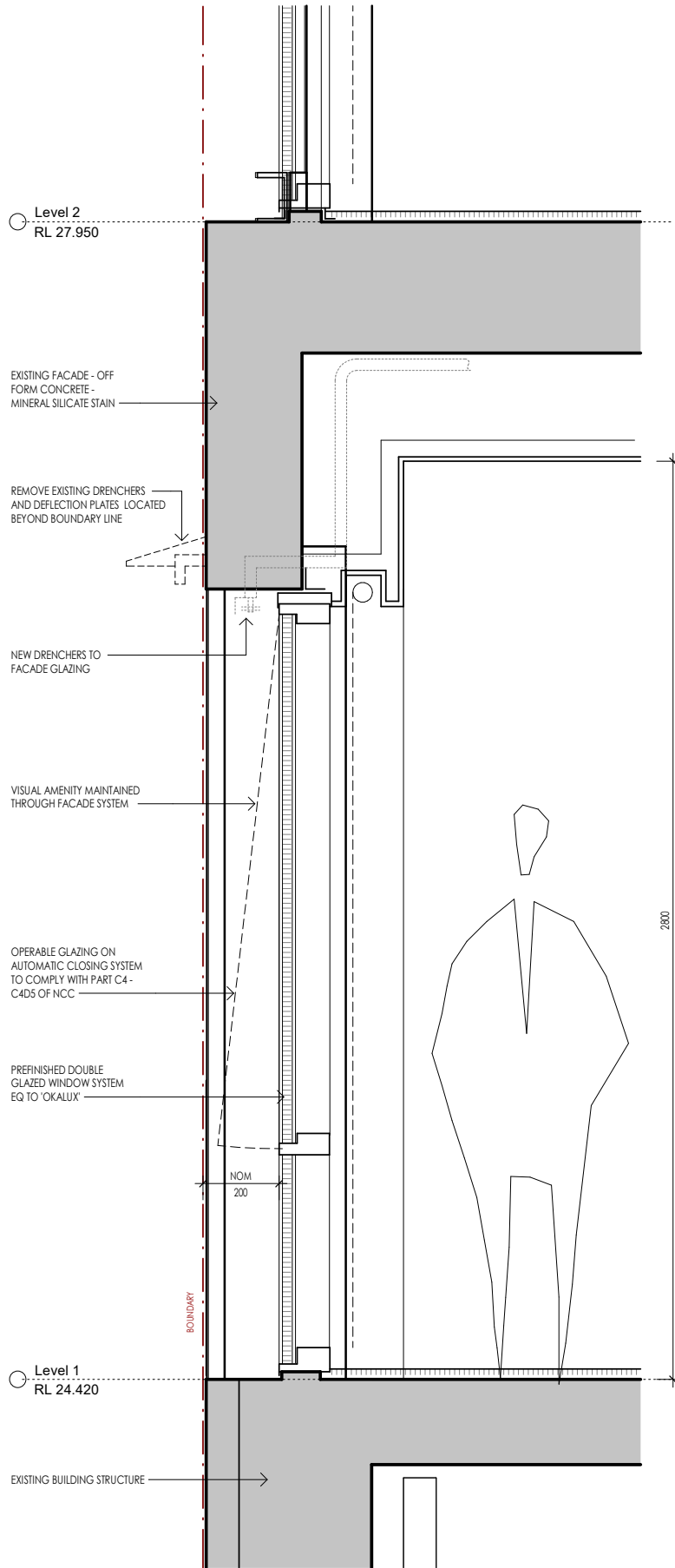
ELEVATION WEST

PROJECT NO: 90022 **SCALE AT A1:** As indicated

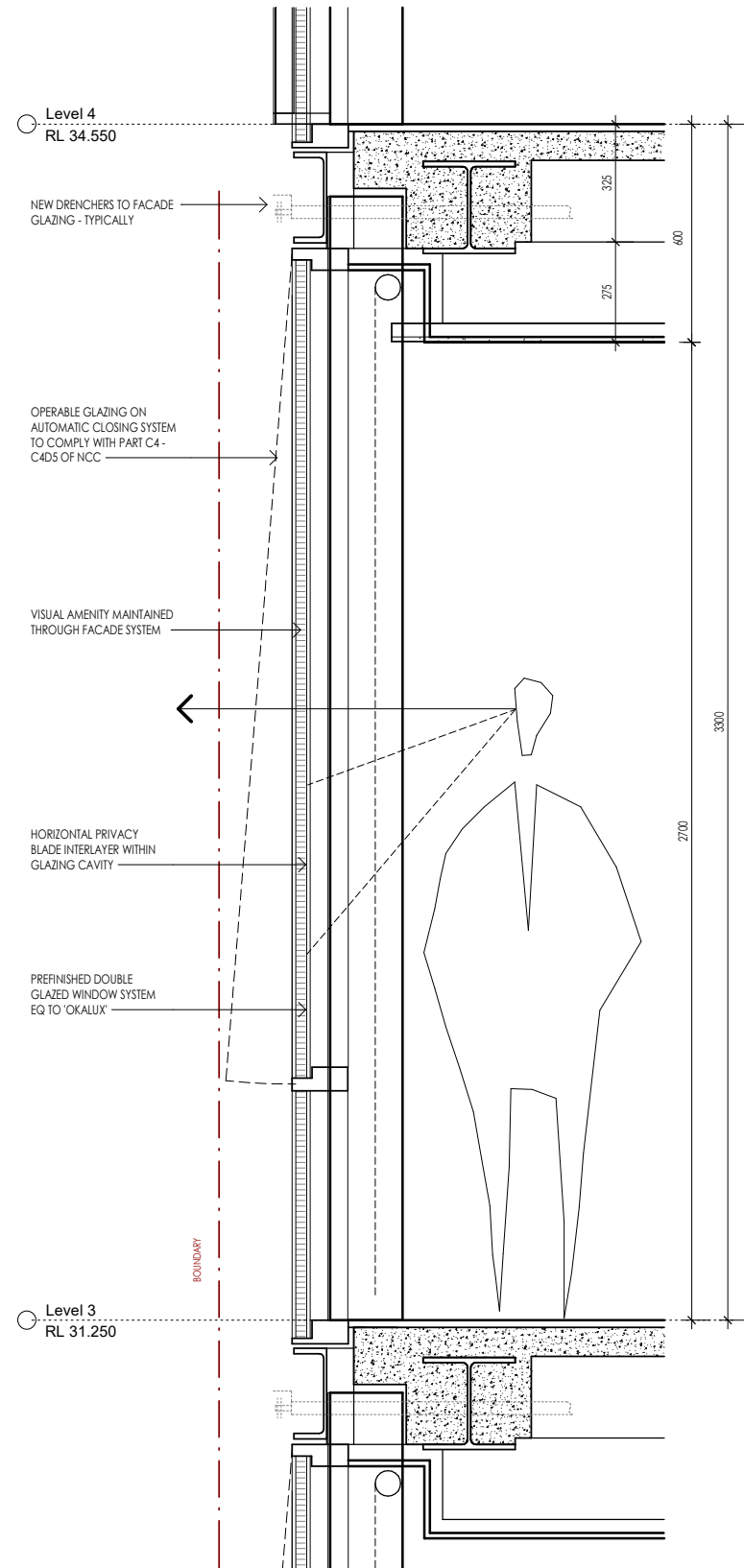
DRAWING NO: A3.12 **REV:** C



EXISTING FACADE - LOWER LEVELS - CLADDING



EXISTING FACADE - LOWER LEVELS - GLAZING



NEW FACADE - UPPER LEVELS

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B	Issued For Information	25.06.25	MC
A	For Client Review	11.06.25	MC
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DRN	CHK	APP	

SCALE BAR:



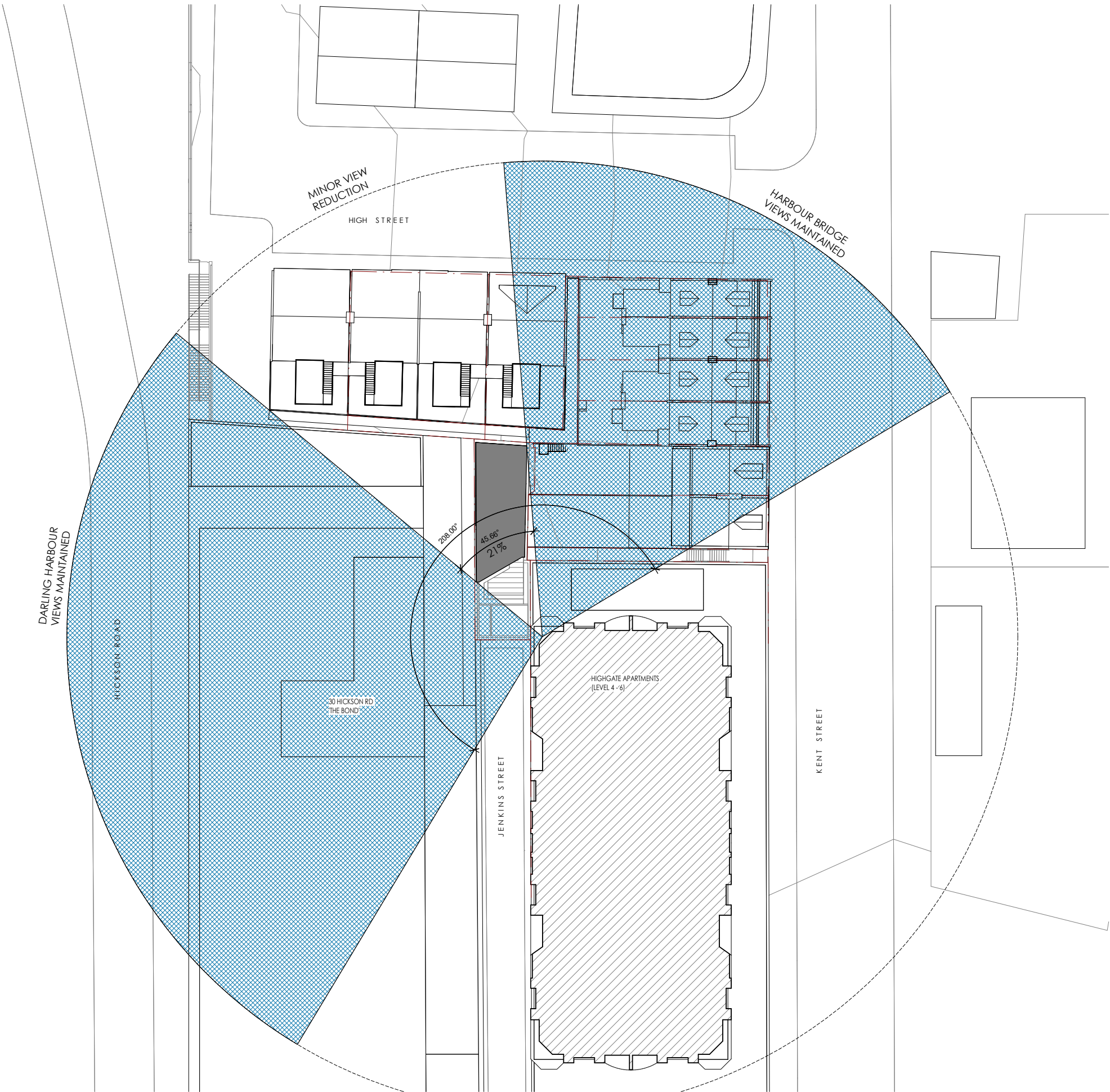
Cortese
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CLIENT:
JEFFREY INTERNATIONAL PTY LTD

PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:
FACADE STUDY

PROJECT NO: 90022
SCALE AT A1: 1 : 10
DRAWING NO: A6.01
REV: C



- VIEWS FROM LEVELS 4 - 7
HIGHGATE APARTMENT BALCONIES
- LEVEL 8 HIGHGATE APARTMENT
ABOVE PROPOSED ROOF LEVEL
- NO RESIDENTIAL DWELLINGS
BELOW LEVEL 4

- PROPOSED BUILDING FOOTPRINT
- ▨ VIEWS FROM HIGHGATE
APARTMENT BALCONY

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PRELIMINARY

B	Issued For Information	25.06.25	MC
REV	DESCRIPTION	DATE	BY
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Author	Checker	Approver	
SCALE BAR:		NORTH:	
0 1000 2000 5000			
SCALE: 1:100			

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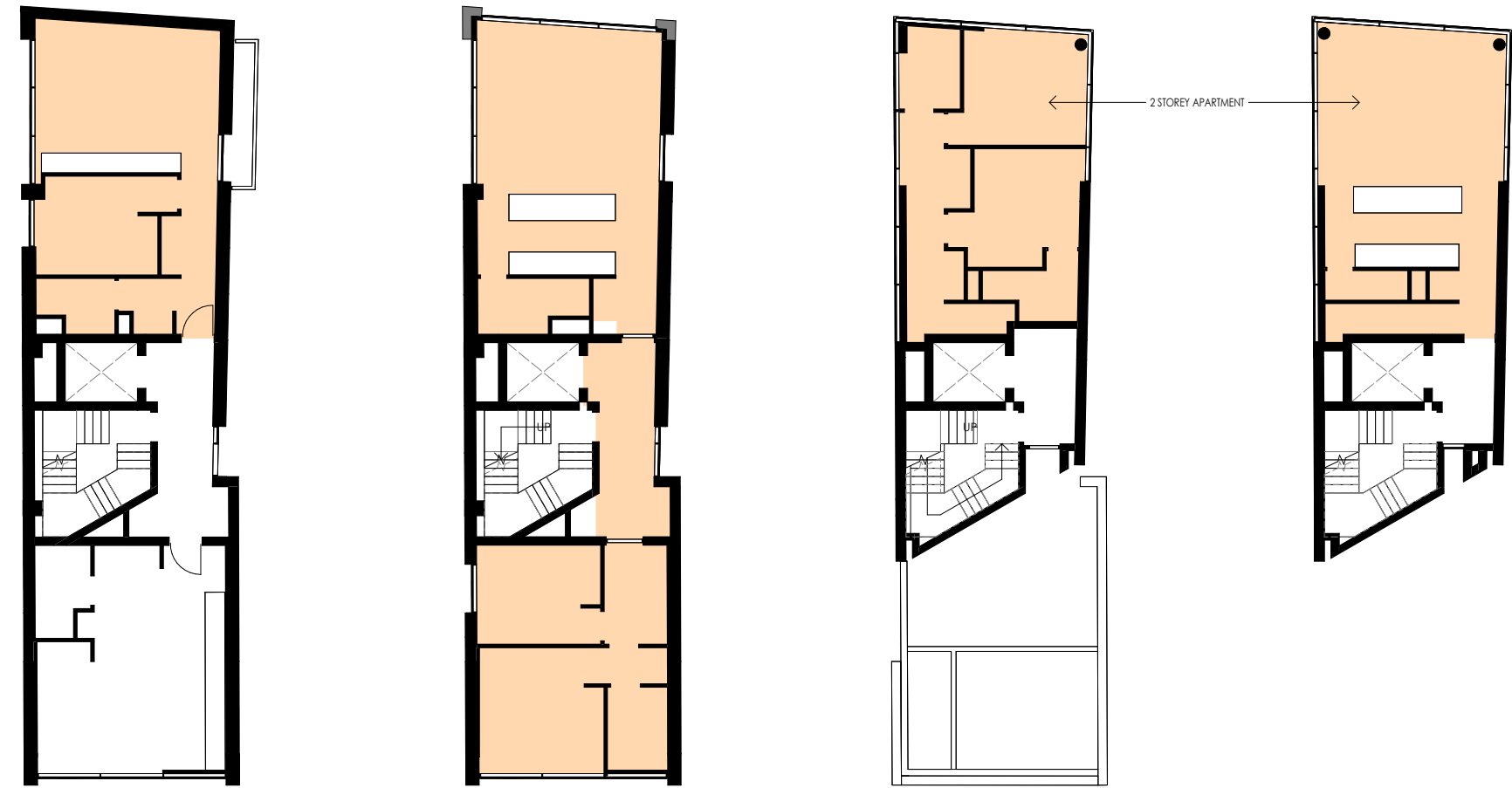
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E info@corteseassociates.ac

CLIENT:
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PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:
VIEW ANALYSIS PLAN

PROJECT NO: 90022	SCALE AT A1: As indicated
DRAWING NO: A6.50	REV: B

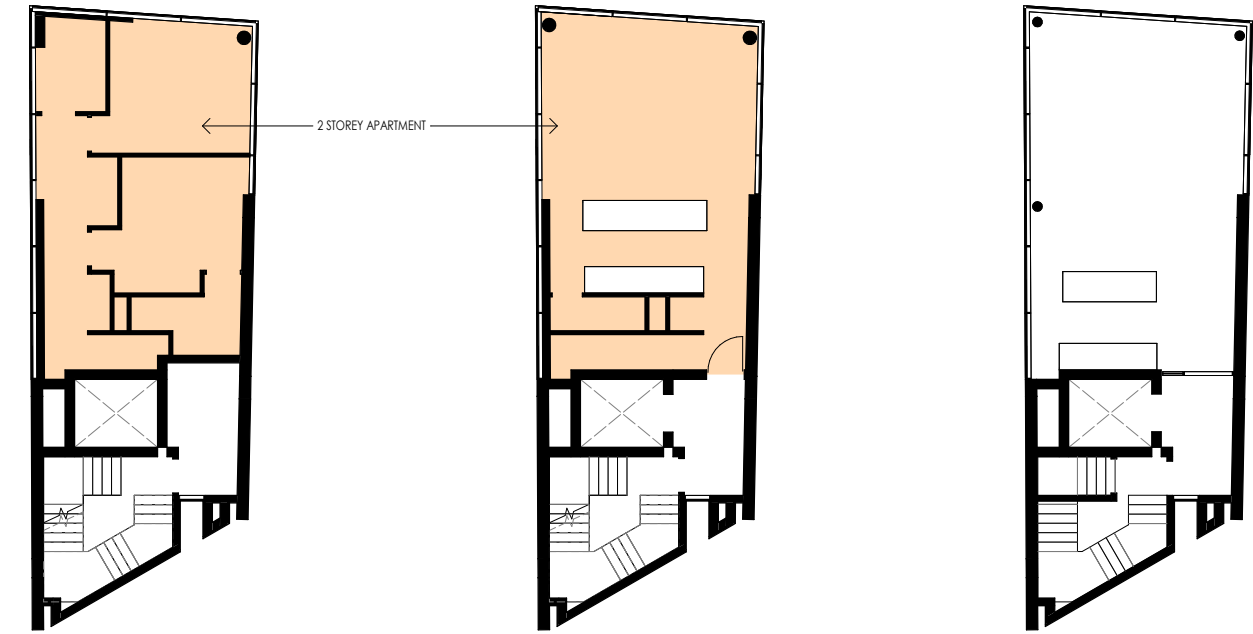


GROUND LEVEL

LEVEL 1

LEVEL 2

LEVEL 3



LEVEL 4

LEVEL 5

LEVEL 6

4 OF 5 APARTMENTS (80%) RECIEVE
MINIMUM OF 2HRS SOLAR ACCESS MID
WINTER BETWEEN 9.00AM AND 3.00PM

9.00am - 3.00pm

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SCALE BAR: 0 1000 2000 5000
SCALE: 1:100

NORTH:

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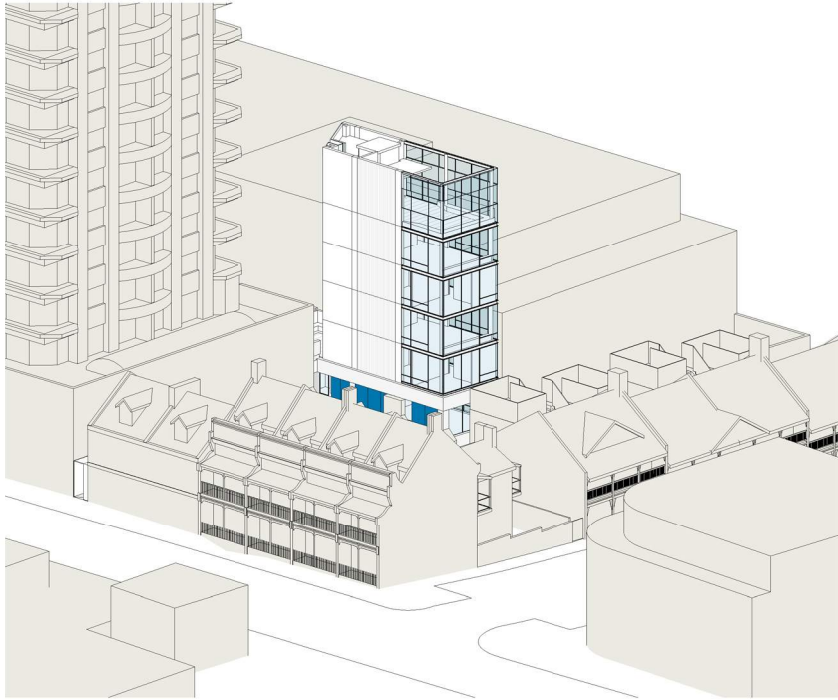
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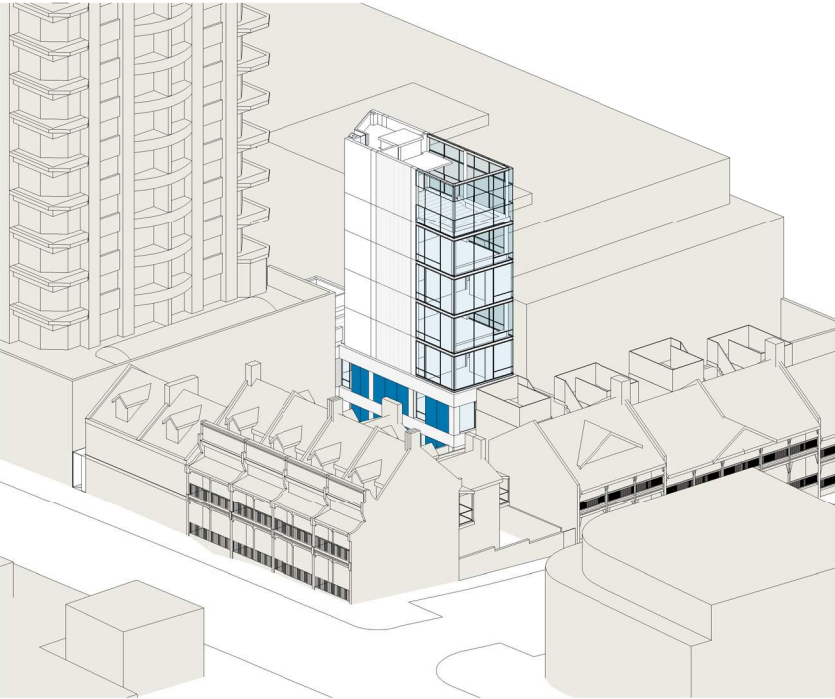
PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:
SOLAR ACCESS DIAGRAMS

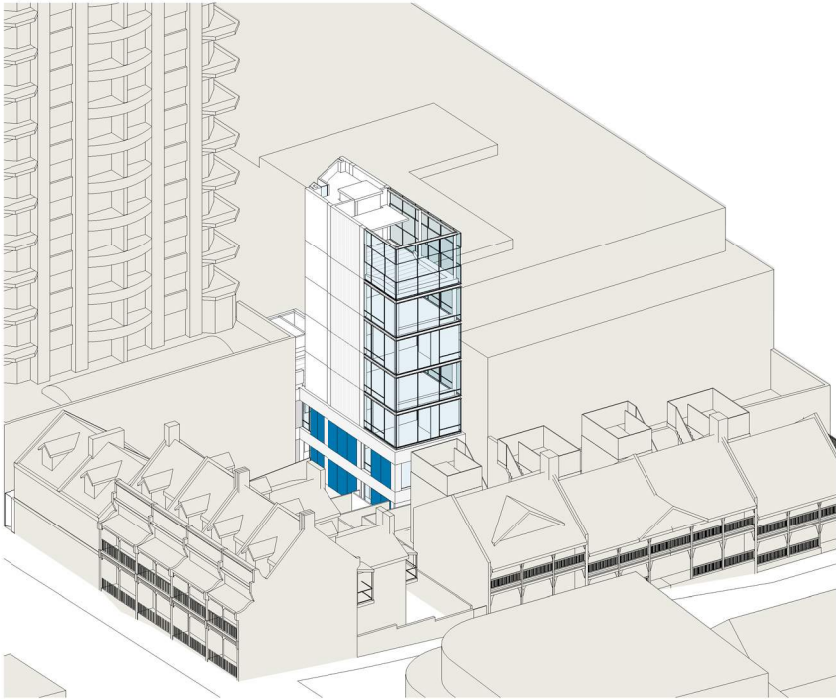
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DRAWING NO: A7.01	REV: C



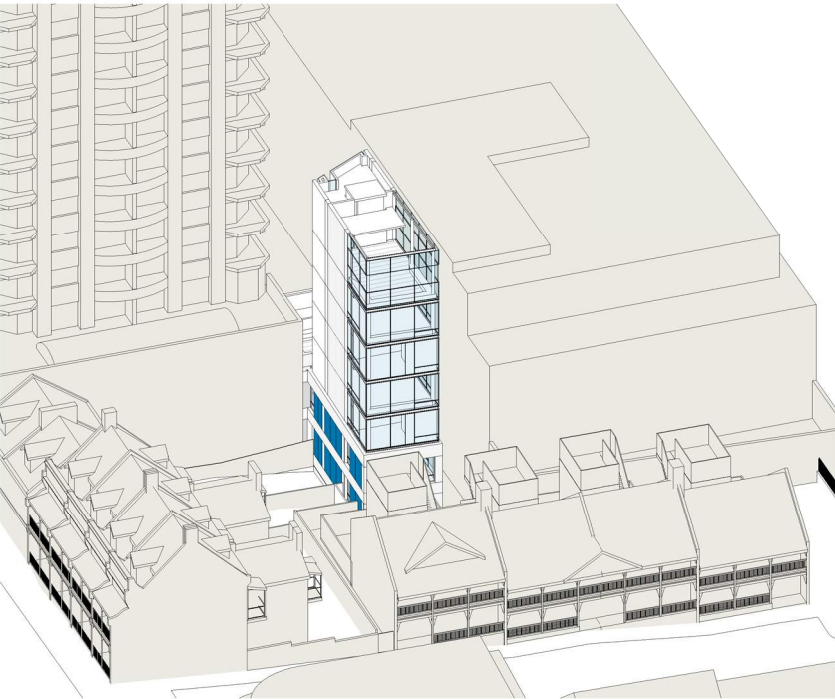
JUNE 21 - 9.00AM



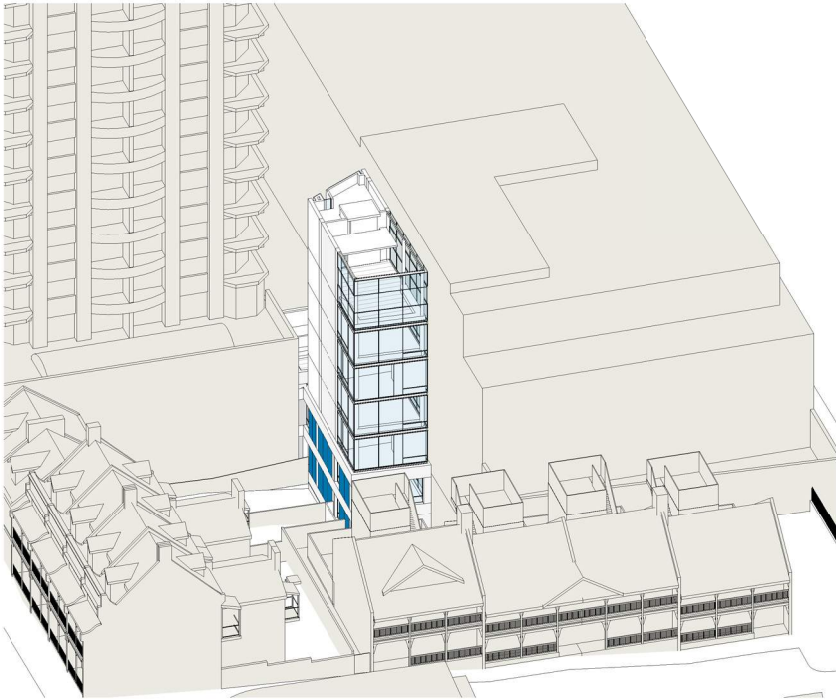
JUNE 21 - 9.25AM



JUNE 21 - 10.00AM



JUNE 21 - 11.00AM



JUNE 21 - 11.10AM

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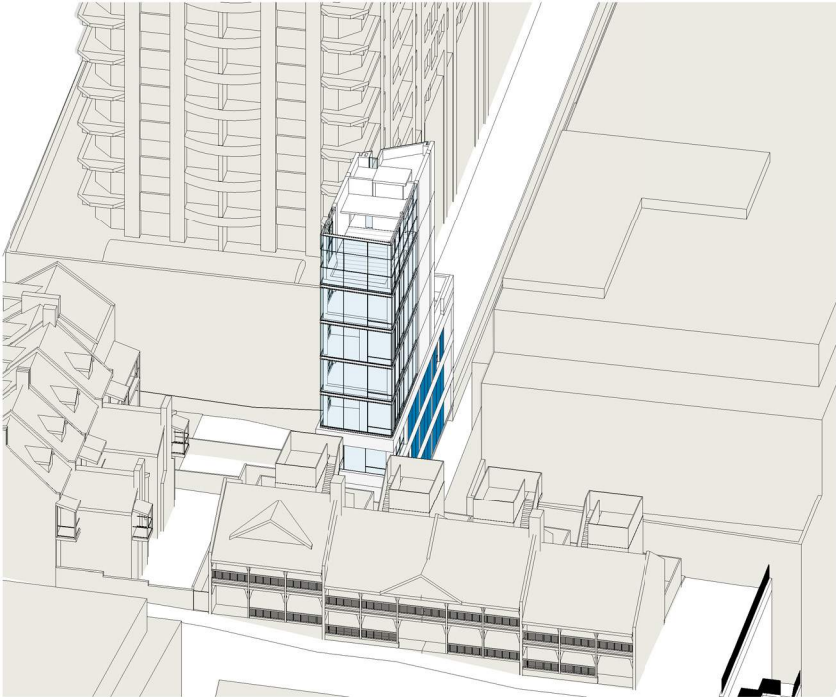
PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:
VIEWS FROM THE SUN DIAGRAMS

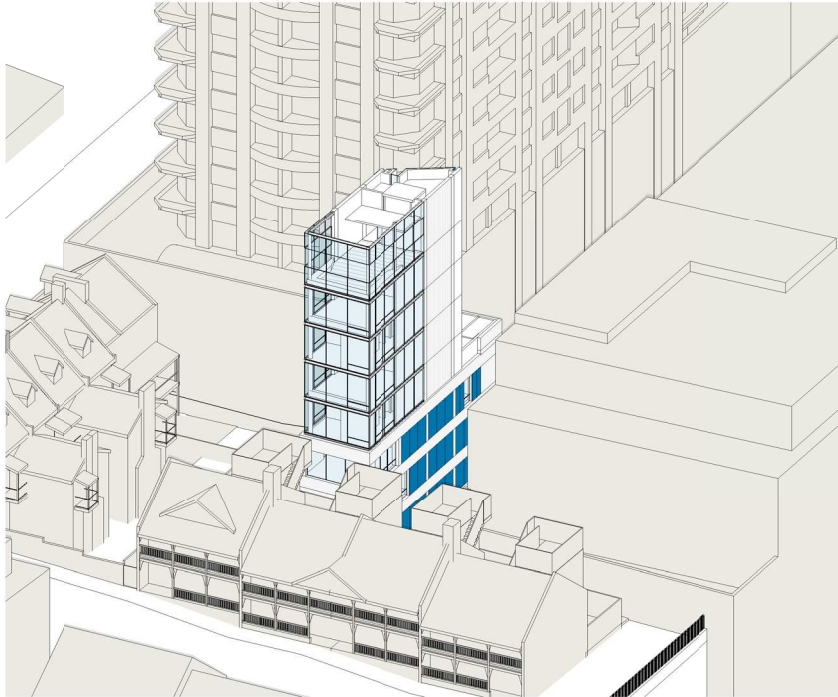
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SCALE AT A1:
DRAWING NO: A7.02
REV: C



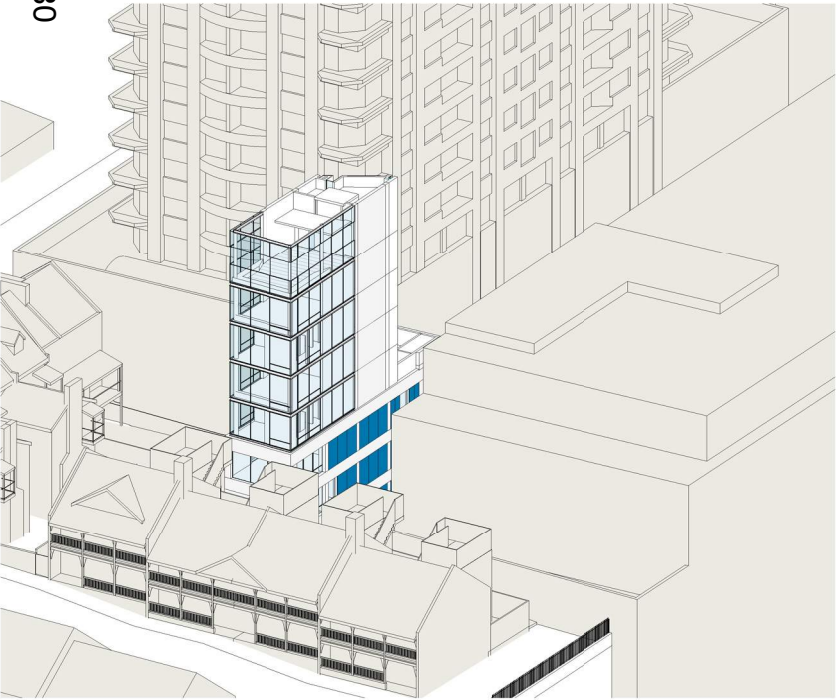
JUNE 21 - 12.00PM



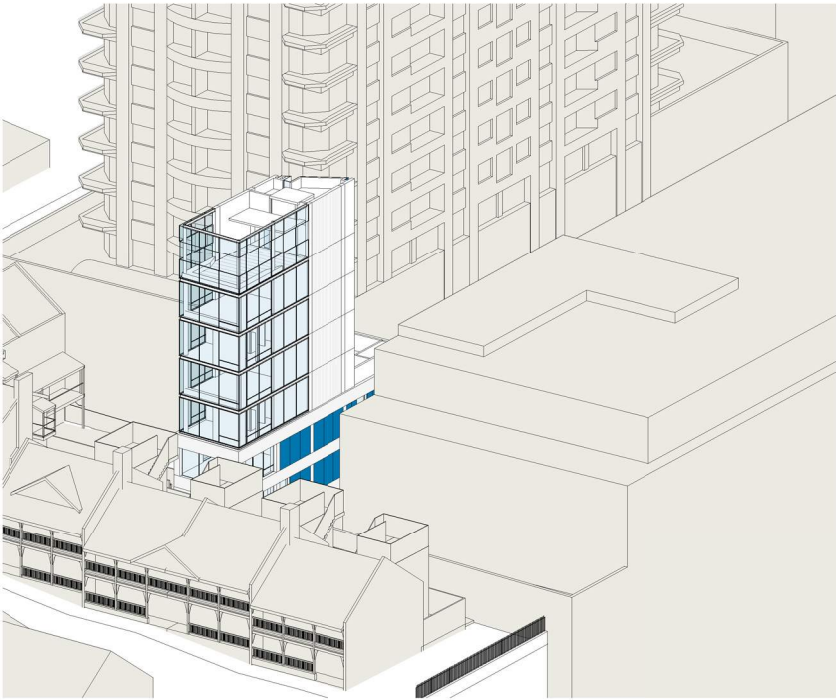
JUNE 21 - 1.00PM



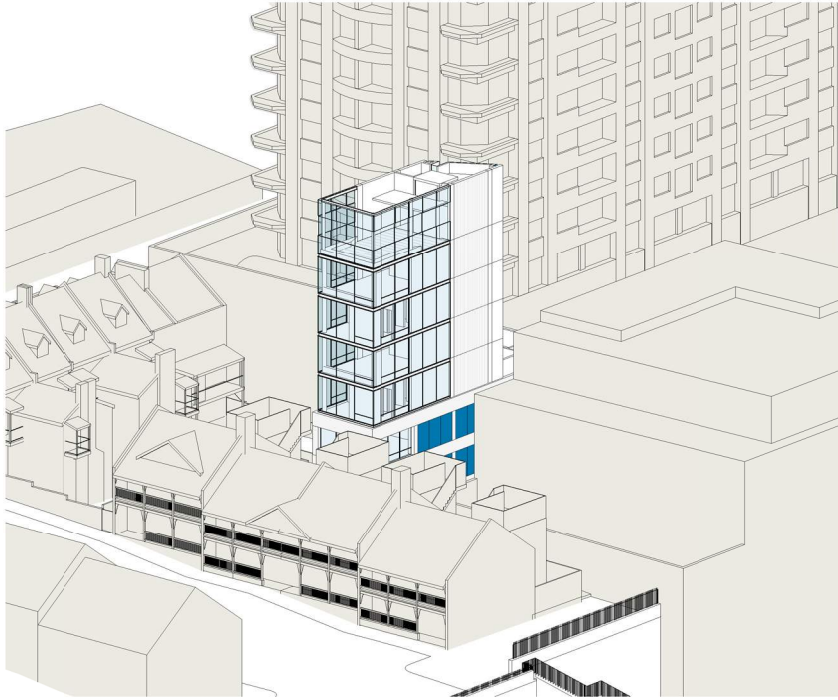
JUNE 21 - 2.00PM



JUNE 21 - 2.20PM



JUNE 21 - 2.35PM



JUNE 21 - 3.00PM

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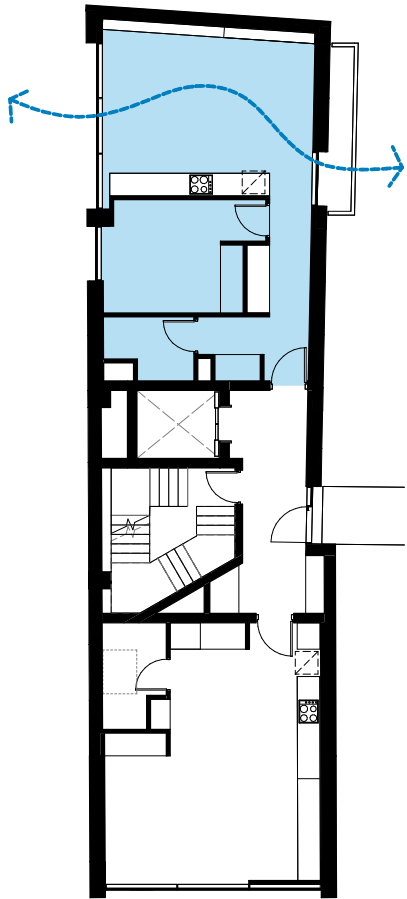
CLIENT:
JEFFREY INTERNATIONAL PTY LTD

PROJECT:
125A KENT STREET - MILLERS POINT

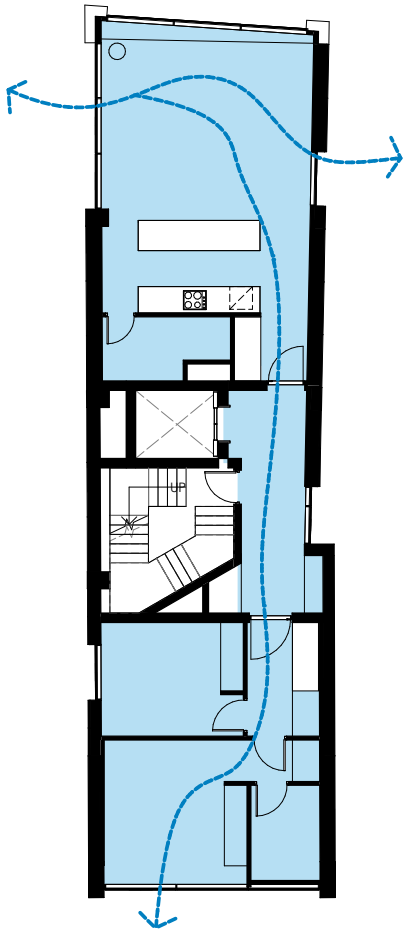
DRAWING TITLE:
VIEWS FROM THE SUN DIAGRAMS

PROJECT NO: 90022 **SCALE AT A1:**

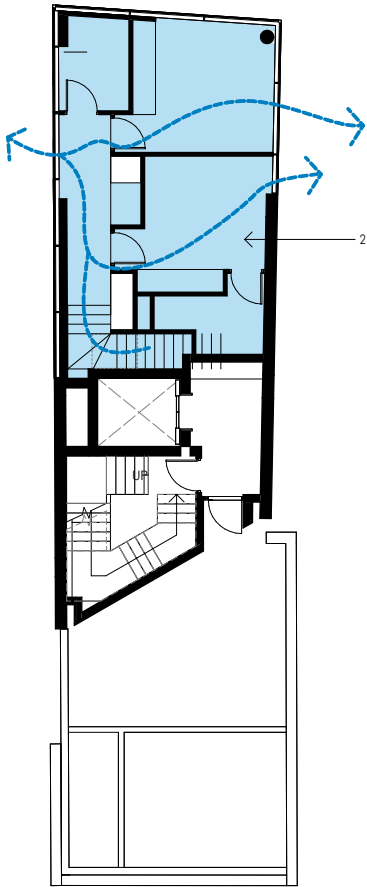
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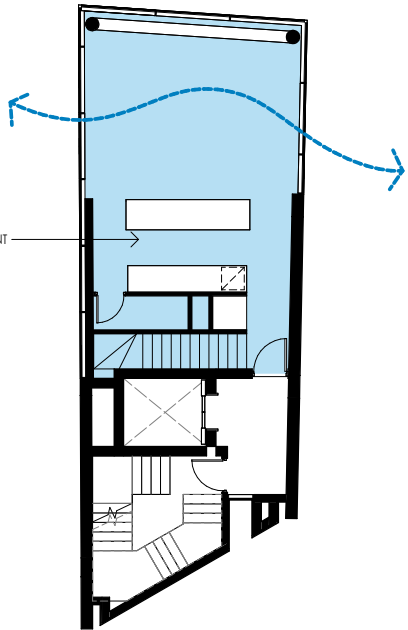
GROUND LEVEL



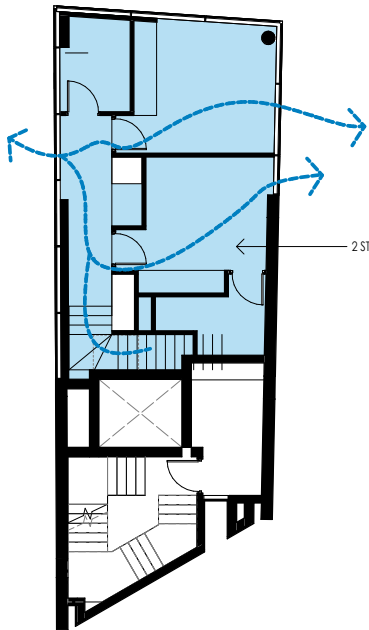
LEVEL 1



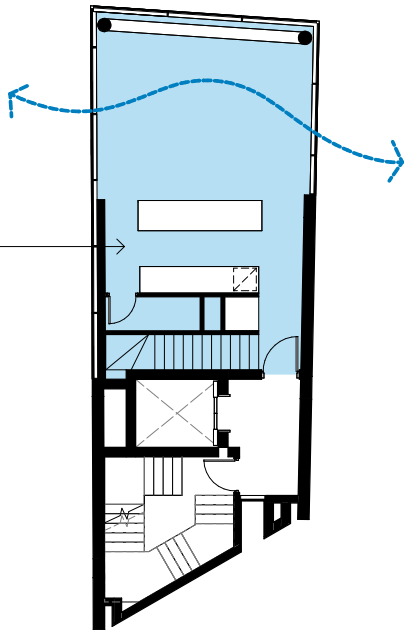
LEVEL 2



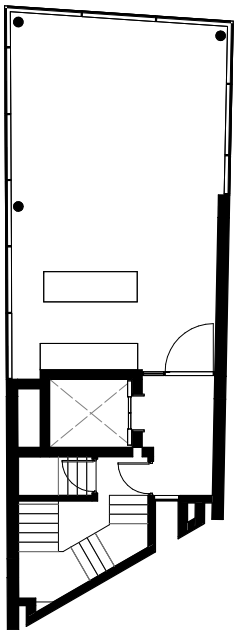
LEVEL 3



LEVEL 4



LEVEL 5



LEVEL 6

4 OF 5 APARTMENTS (80%) ARE
NATURALLY CROSS VENTILATED

 Natural Ventilation

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SCALE BAR: 0 1000 2000 5000
SCALE: 1:100

NORTH: 

Cortese

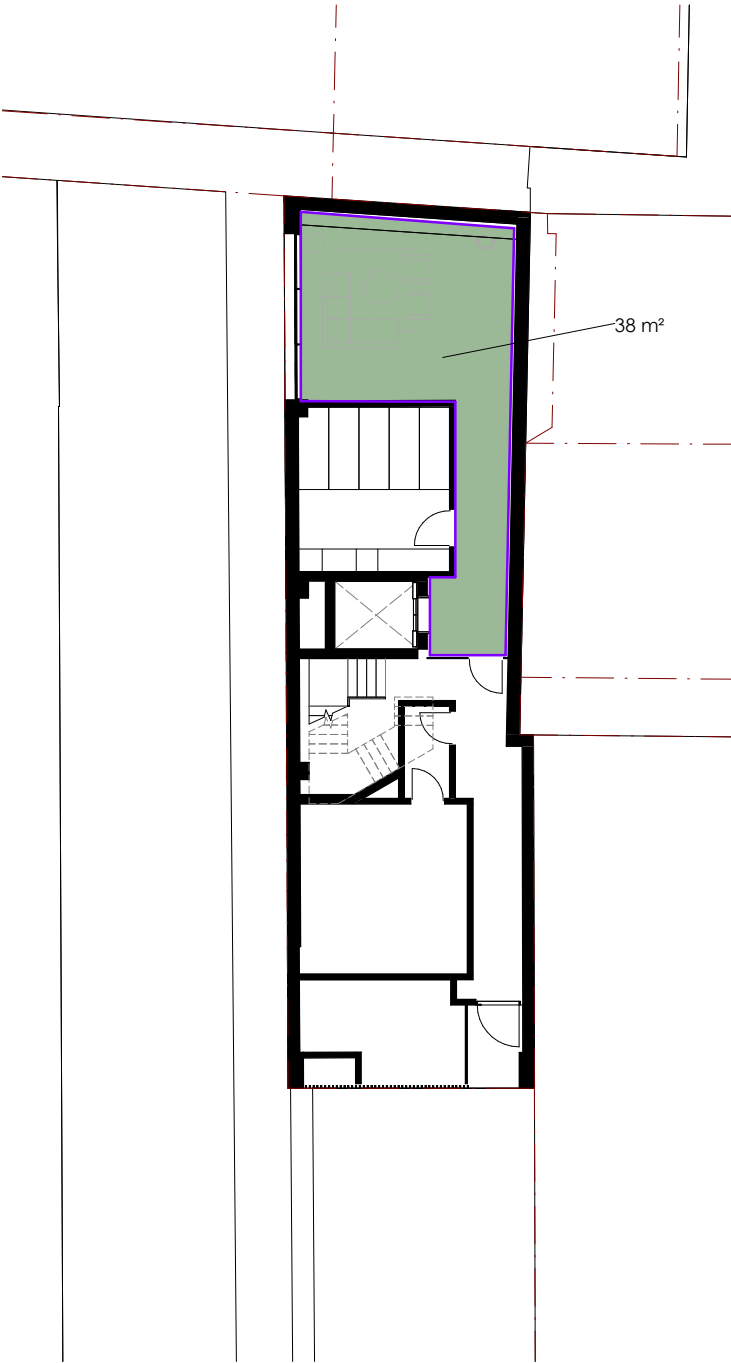
Cortese Associates Pty Ltd
ABN 25 677 415 002
NSW Nominated Architect Andrew Cortese 6652
Suite 3 Level 32.1 Market Street
Sydney NSW 2000
E info@corteseassociates.ac

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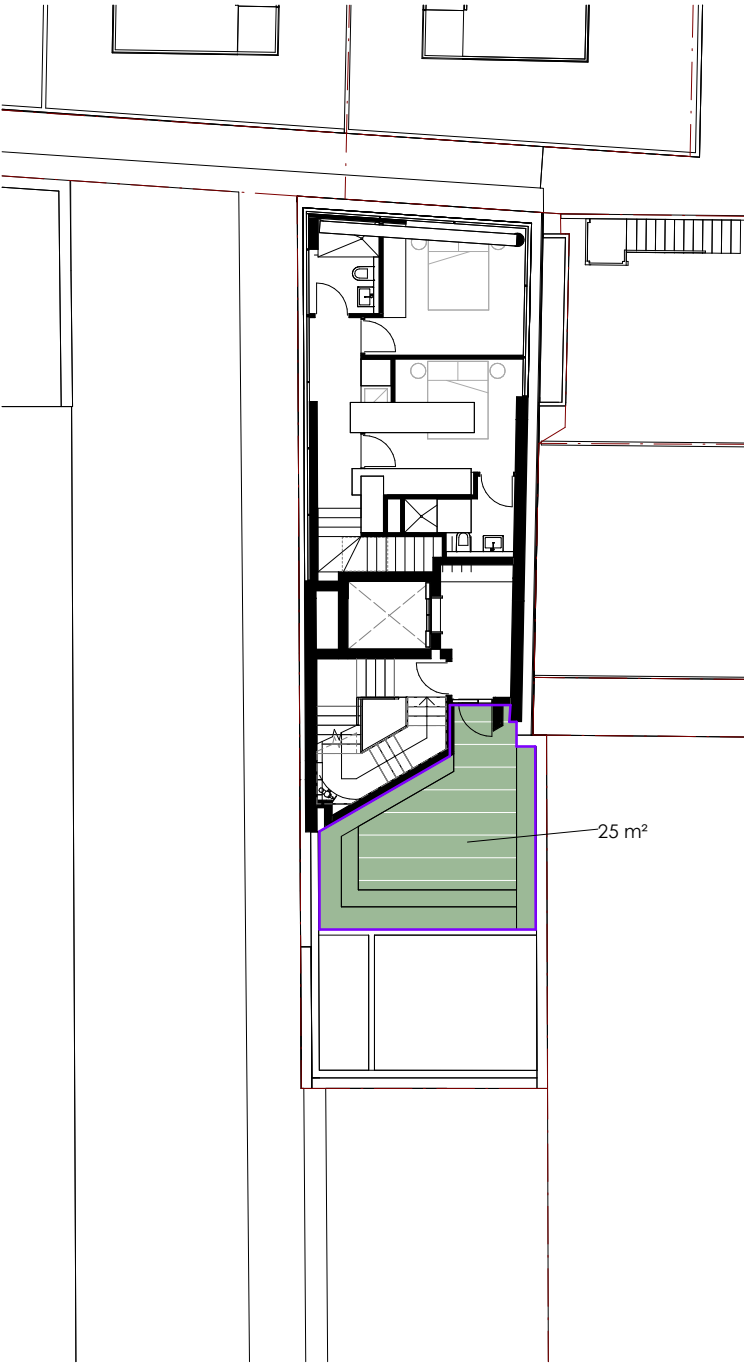
PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:
CROSS VENTILATION DIAGRAMS

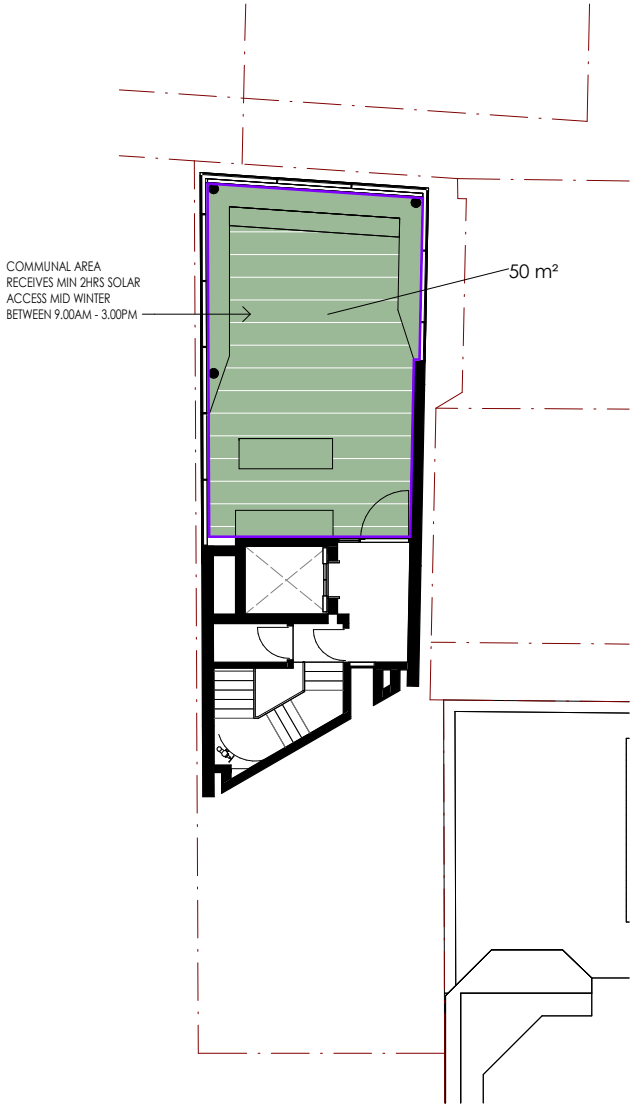
PROJECT NO: 90022
SCALE AT A1: 1 : 100
DRAWING NO: A7.05
REV: C



LEVEL LG - COMMUNAL ROOM



LEVEL 2 - COMMUNAL TERRACE



LEVEL 6 - COMMUNAL ROOF

COMMUNAL

SITE AREA: 154.3 M²

- OUTDOOR COMMUNAL AREA = 75M² (49% OF SITE)
- INDOOR COMMUNAL AREA = 38M² (25% OF SITE)

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REV	DESCRIPTION	DATE	BY
DRN	CHK	APP	

SCALE BAR: 0 1000 2000 5000
SCALE: 1:100

NORTH:

Cortese
Cortese Associates Pty Ltd
ABN 25 677 415 002
NSW Nominated Architect Andrew Cortese 6652
Suite 3 Level 32 1 Market Street
Sydney NSW 2000
E info@corteseassociates.ac

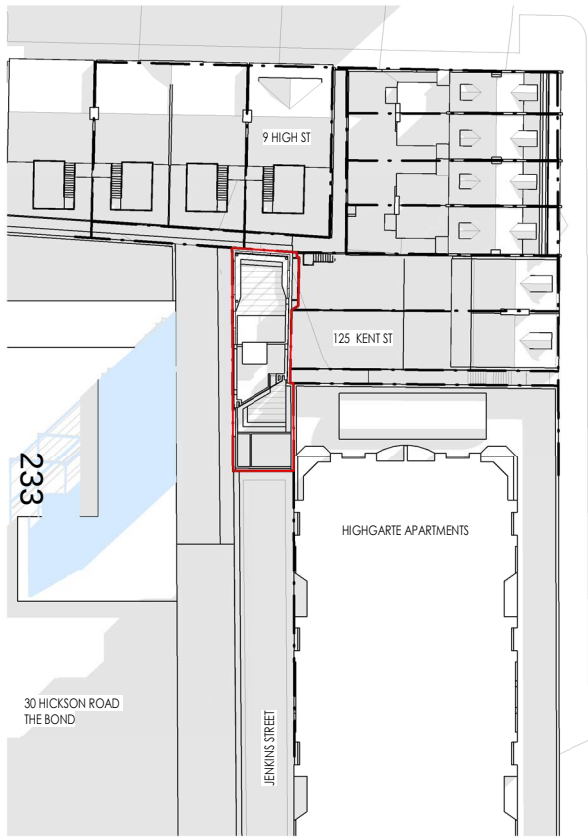
CLIENT:
JEFFREY INTERNATIONAL PTY LTD

PROJECT:
125A KENT STREET - MILLERS POINT

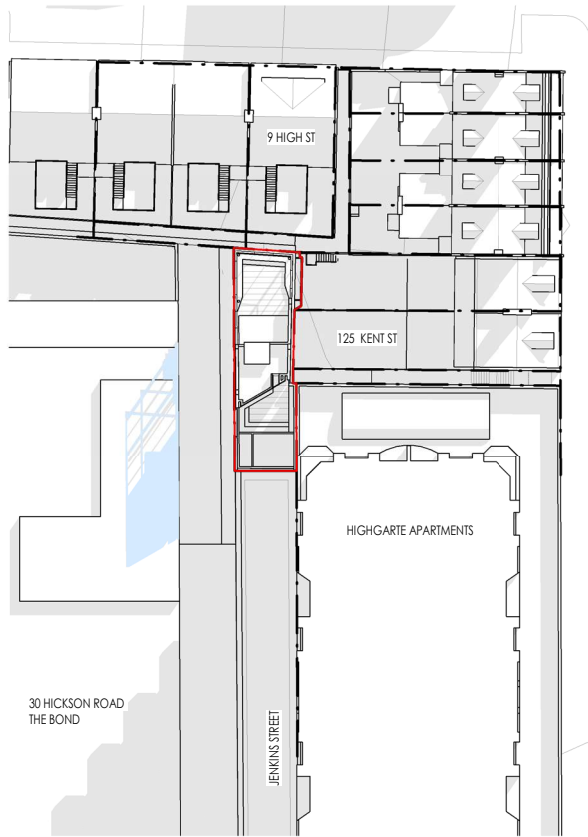
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COMMUNAL OPEN SPACE

PROJECT NO: 90022	SCALE AT A1: 1 : 100
DRAWING NO: A7.06	REV: C

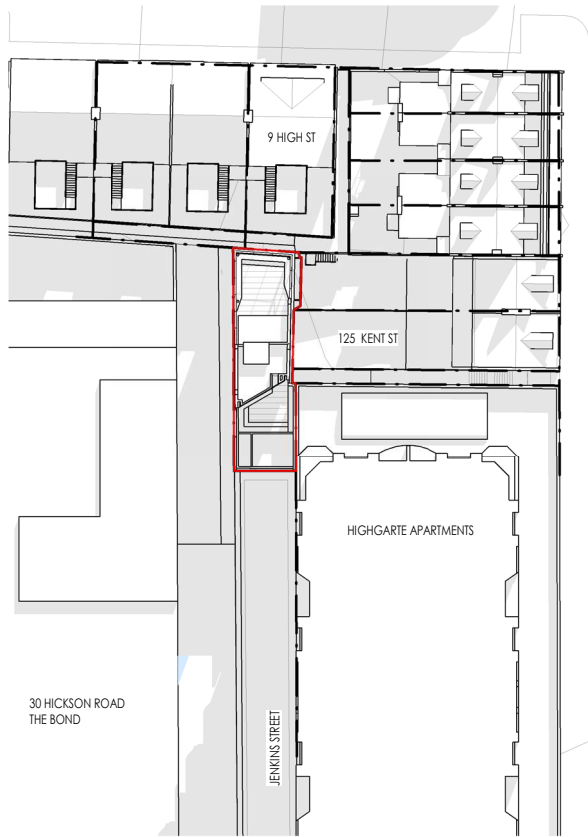
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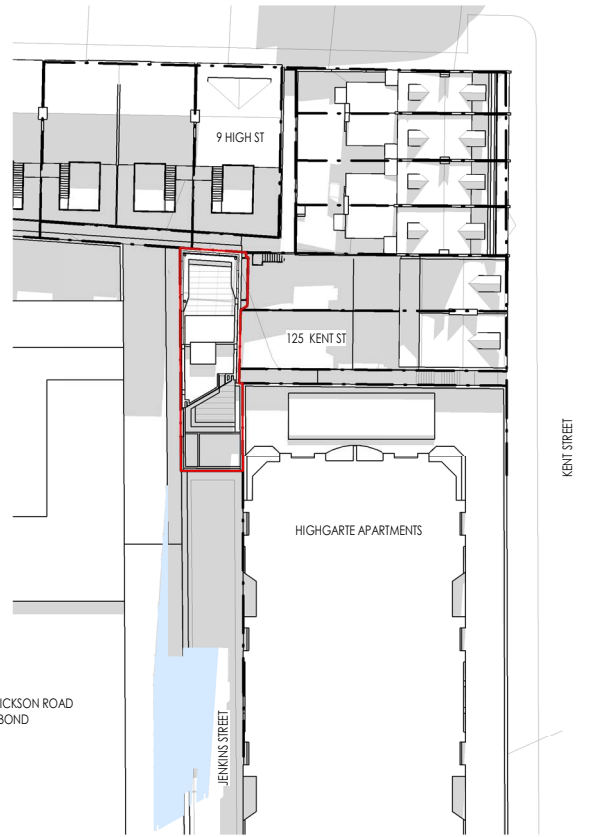
June 21 - 900



June 21 - 1000



June 21 - 1100



June 21 - 1200

ADDITIONAL SHADOWS CAST BY THE PROPOSAL
MAINTAIN A MINIMUM OF 3HRS OF SOLAR
ACCESS TO ADJACENT RESIDENTIAL DWELLINGS
BETWEEN 9.00AM - 3.00PM MID WINTER

- SITE BOUNDARY
- EXISTING SHADOWS
- ADDITIONAL SHADOWS

C	Issued For DA	04.08.25	MC
B	Issued For Information	25.06.25	MC
REV	DESCRIPTION	DATE	BY
DRN	CHK	APP	

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SCALE: 1:100

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Sydney NSW 2000
E: info@corteseassociates.ac

CLIENT:
JEFFREY INTERNATIONAL PTY LTD

PROJECT:
125A KENT STREET - MILLERS POINT

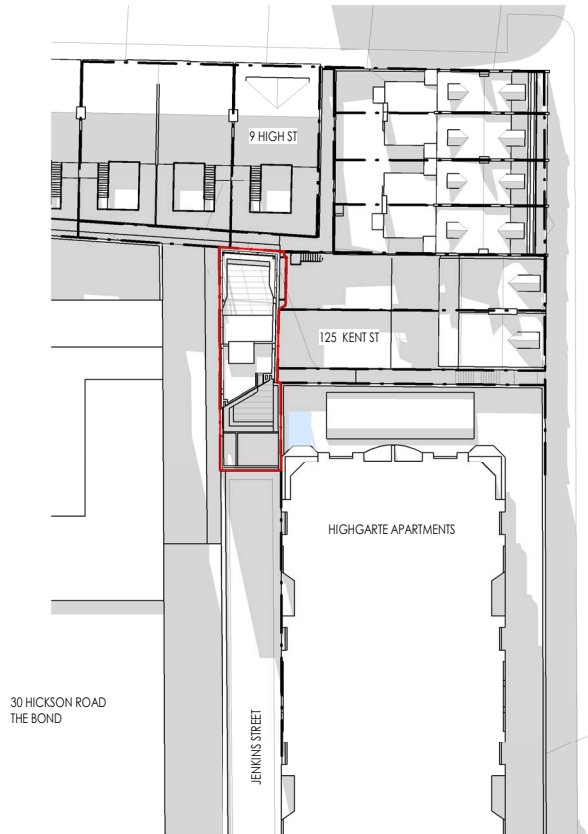
DRAWING TITLE:
SHADOW DIAGRAMS

PROJECT NO:
90022

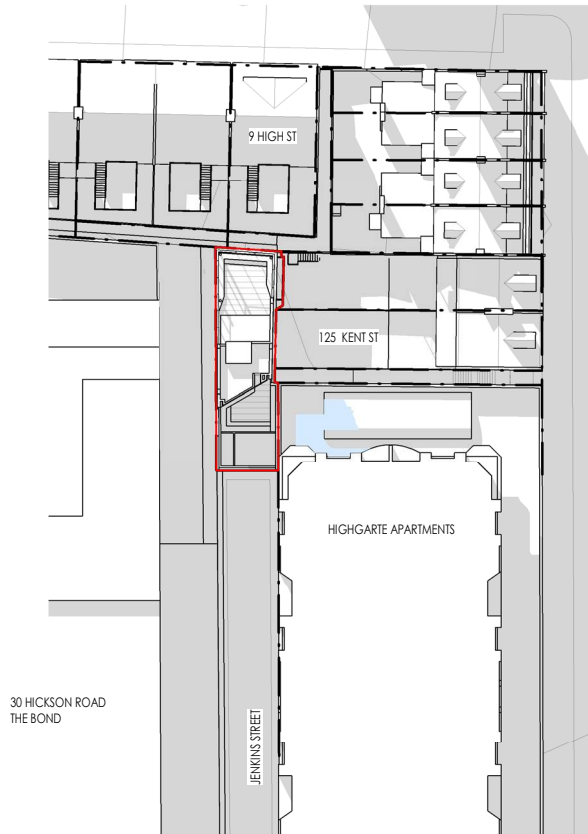
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As indicated

DRAWING NO:
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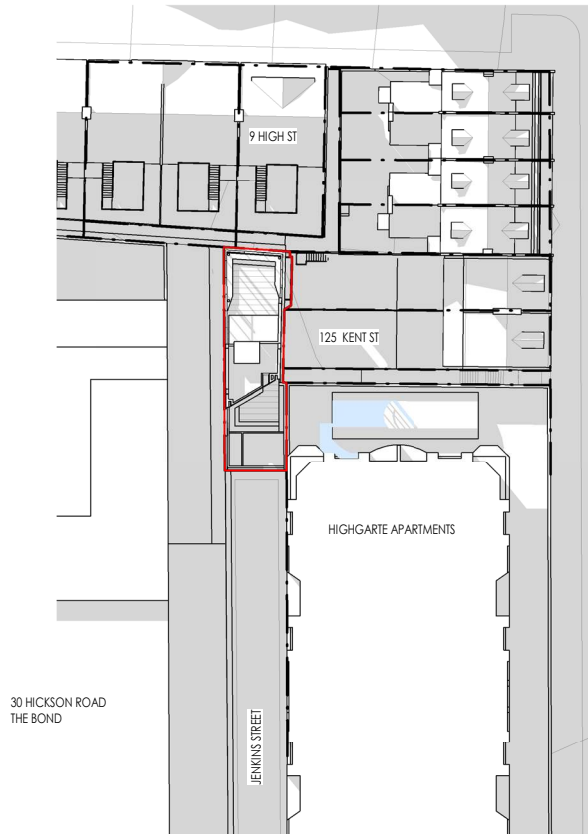
REV:
C



June 21 - 1300



June 21 - 1400



June 21 - 1500

ADDITIONAL SHADOWS CAST BY THE PROPOSAL
MAINTAIN A MINIMUM OF 3HRS OF SOLAR
ACCESS TO ADJACENT RESIDENTIAL DWELLINGS
BETWEEN 9.00AM - 3.00PM MID WINTER

- SITE BOUNDARY
- EXISTING SHADOWS
- ADDITIONAL SHADOWS

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REV	DESCRIPTION	DATE	BY
DRN	CHK	APP	

SCALE BAR: 0 1000 2000 5000
SCALE: 1:100

NORTH:

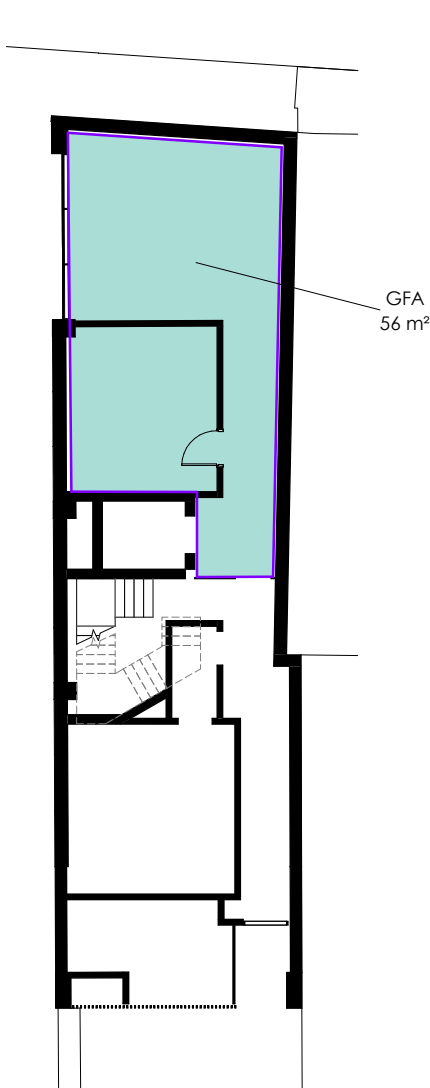
Cortese
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CLIENT:
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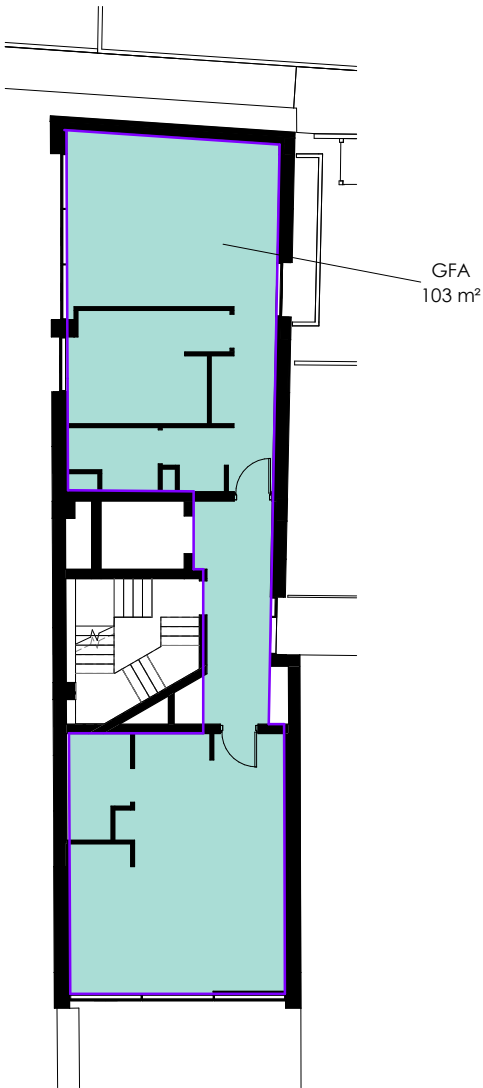
PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:
SHADOW DIAGRAMS

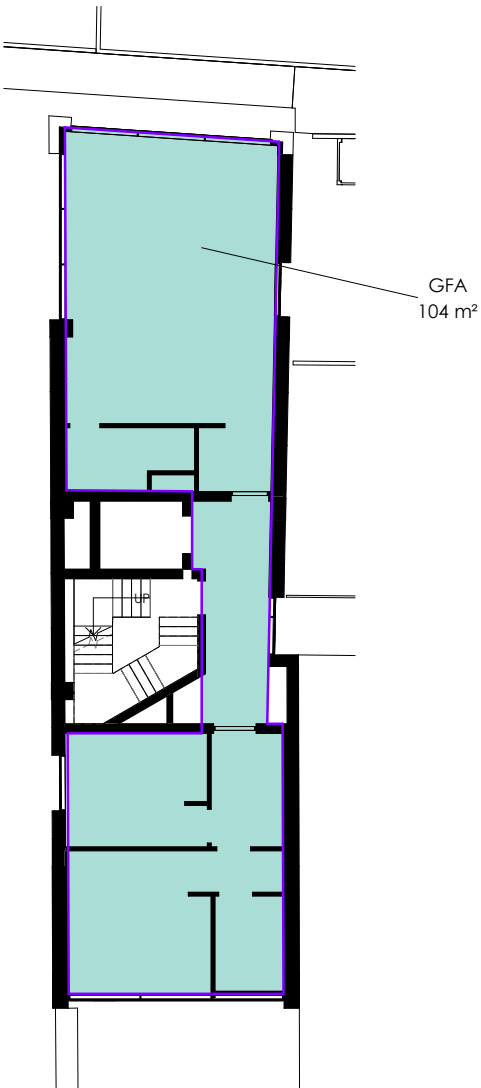
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SCALE AT A1: As indicated
DRAWING NO: A7.11
REV: C



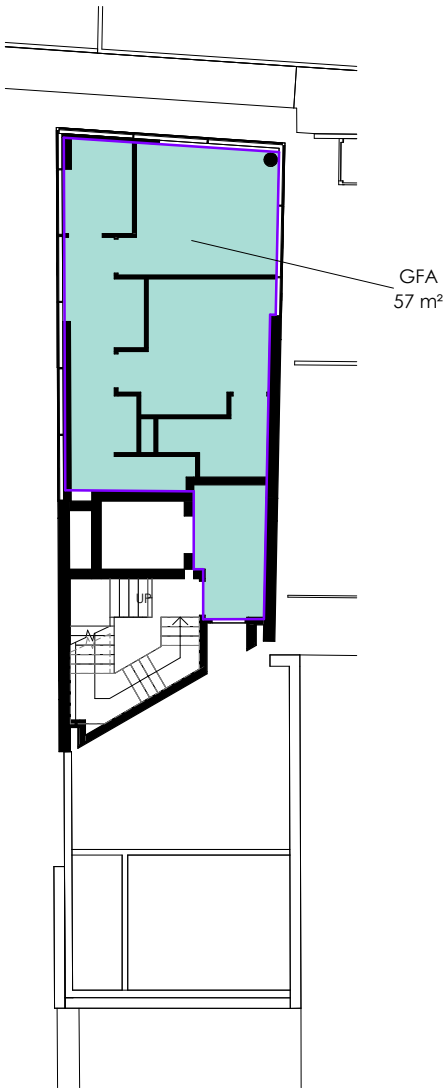
level LG



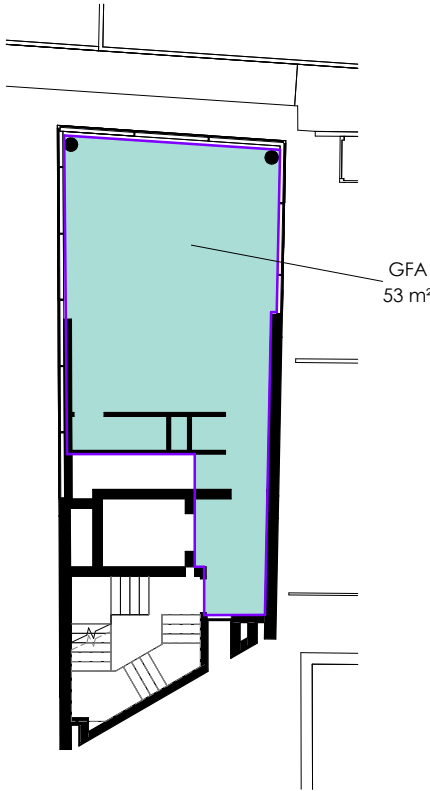
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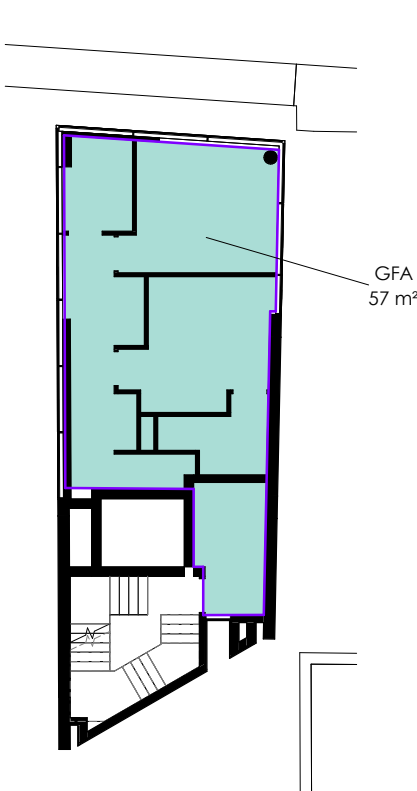
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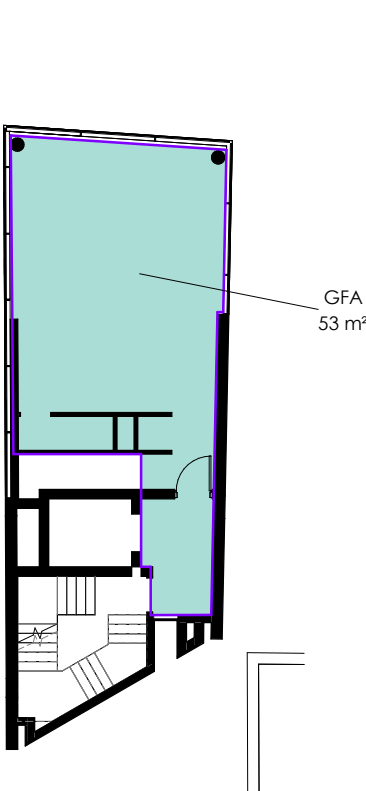
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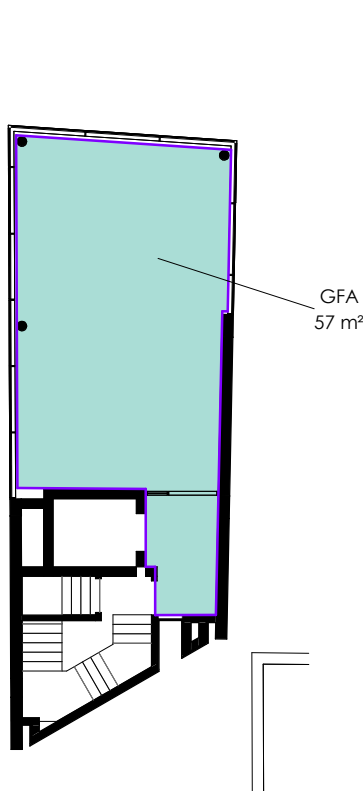
Level 3



Level 4



Level 5



Level 6

GFA CALCULATIONS

SITE AREA: 154.3 M²
FSR: 7.5:1
MAX GFA PERMISSIBLE: 1157 M²

PROPOSED GFA: 540 M²
PROPOSED FSR: 3.49:1

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SCALE BAR: 0 1000 2000 5000
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NORTH:

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E info@corteseassociates.ac

CLIENT:
JEFFREY INTERNATIONAL PTY LTD

PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:

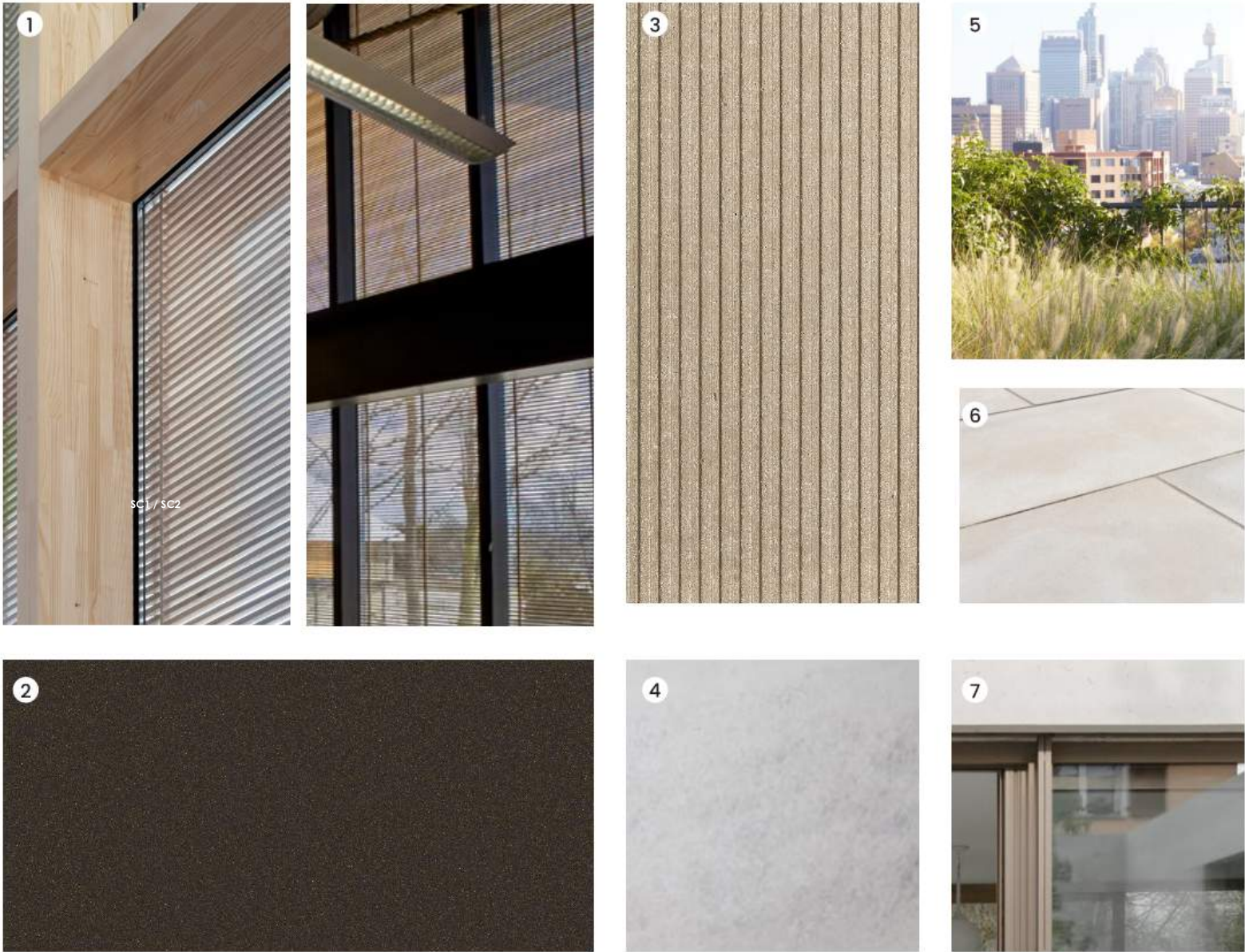
GFA DIAGRAMS

PROJECT NO: 90022
SCALE AT A1: 1 : 100

DRAWING NO: A7.50
REV: C

Legend

- 1- Insulated glass facade system with timber louvre interlayer - eq to Okalux
- 2- Anodised aluminium - Dark bronze
- 3- GRC cladding - Sandstone
- 4- Off form concrete - Mineral silicate stain
- 5- Landscape planting
- 6- Large format pavers
- 7- Aluminium framed doors. Dark bronze anodised finish.



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CLIENT:
JEFFREY INTERNATIONAL PTY LTD

PROJECT:
125A KENT STREET - MILLERS POINT

DRAWING TITLE:

MATERIAL BOARD

PROJECT NO: 90022	SCALE AT A1: 1 : 1
DRAWING NO: A5.00	REV: C

11.0 Appendix

11.2 Survey Plans

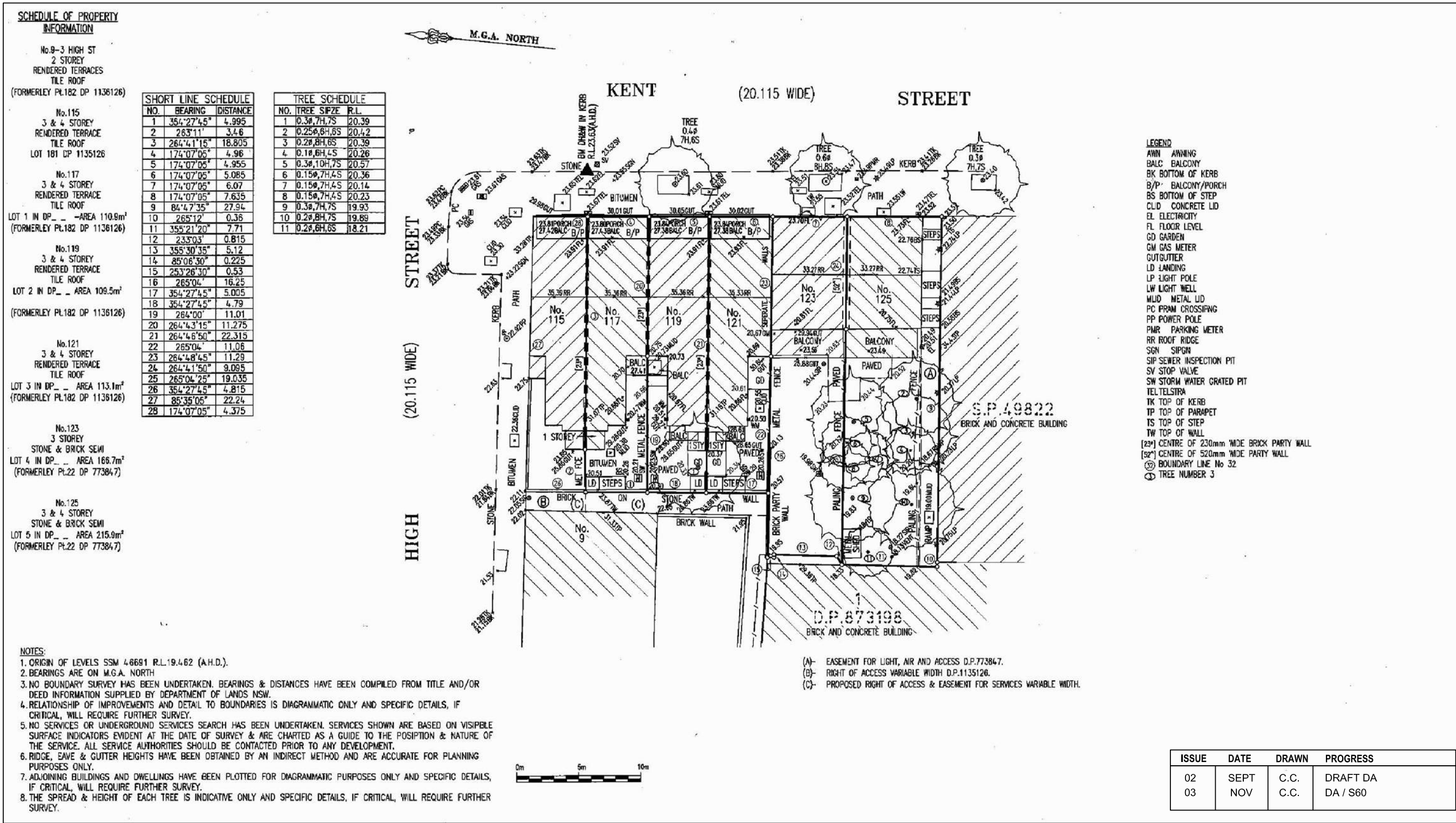
237

238



11.22 Survey Plan - 119 Kent Street - Adjacent Sites

239



ARCHITECT

O C P ARCHITECTS PTY LTD
24 FERRY ROAD GLEBE 2037
TEL: 612 9552 3800 FAX: 612 9660 5021
www.ocp.net.au

CLIENT



NORTH

PROJECT

119 KENT STREET
MILLERS POINT
SYDNEY NSW 2000

SITE SURVEY

PROJECT NO.

11032

ISSUE

05

03

11.0 Appendix

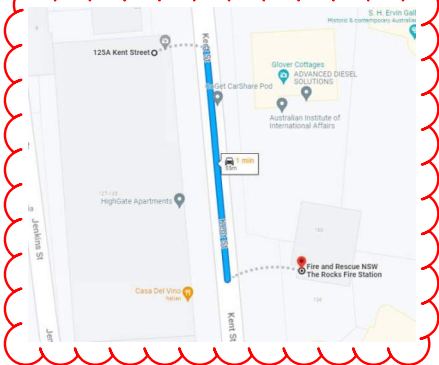
11.3 Preliminary Services Inputs

240

HYD - 1500 PVC CONC ENCASED SYDNEY WATER SEWER EASEMENT BUILDING TO MAINTAIN CLEARANCES AROUND SYDNEY WATER ASSET

HYD - 1500 CICL SYDNEY WATER SUPPLY RETICULATES SOUTH FROM KENT STREET. THIS WOULD BE THE PREFERRED SUPPLY FOR THE INCOMING COLD AND FIRE SERVICES. PENDING PRESSURE AND FLOW ENQUIRY.

DIRECT ACCESS FROM FIRE BRIGADE



HYD - ADDITIONAL WATER MAINS ACT AS TRUNK MAIN AND CANT BE USED TO CONNECT INCOMING WATER SUPPLY

HYD - 1100 NY 7kPa JEMENA GAS MAIN. NO REQUIREMENT FOR GAS TO SERVICE SITE

HYD - PROPOSED SEWER CONNECTION TO SERVICE SITE 3000 SYDNEY WATER MAIN ALONG JENKINS STREET RUN SOUTH

HYD - 1500 CICL ALTERNATIVE SYDNEY WATER SUPPLY NOT PREFERRED CONNECTION

HICKSON ROAD

30 HICKSON ROAD

HIGHGATE APARTMENTS

DISCIPLINE LEGEND

- MECHANICAL
- ELECTRICAL
- HYDRAULIC
- FIRE PROTECTION
- VERTICAL TRANSPORTATION

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THIS DRAWING IS REQUIRED TO BE PRINTED IN COLOUR
FAILURE TO DO SO MAY RESULT IN LOSS OF INFORMATION
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REV	DESCRIPTION	DRAWN	APP'D	DATE

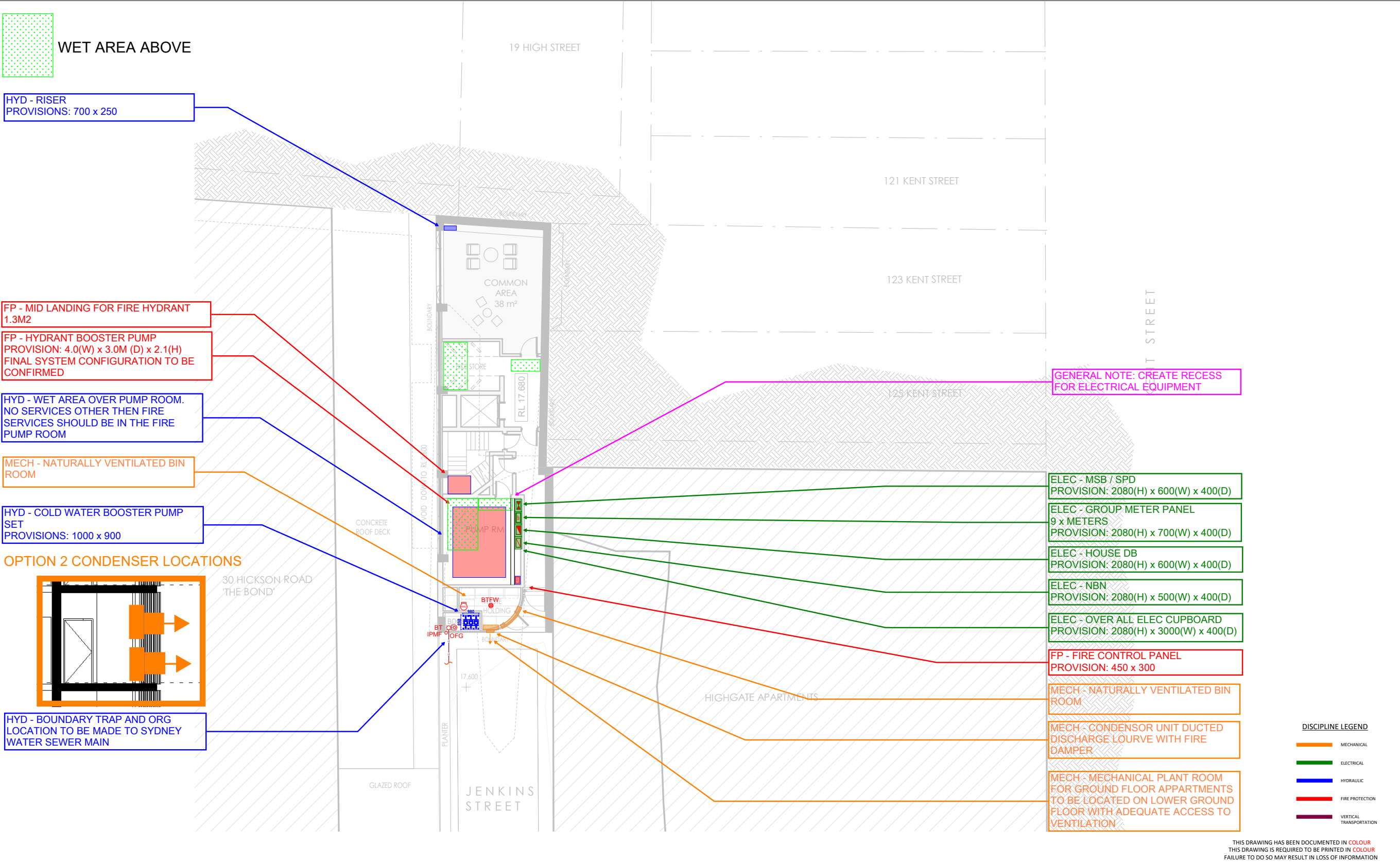
125A KENT STREET, MILLERS POINT

SITE PLAN



PRELIMINARY
NOT FOR CONSTRUCTION
MULTI-DISCIPLINE

1:500	231604	MD-SK-00	01
SCALE @ A3	PROJECT No	DRAWING No	REV



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01	SERVICES SPATIAL	PF	FP	13.11.23
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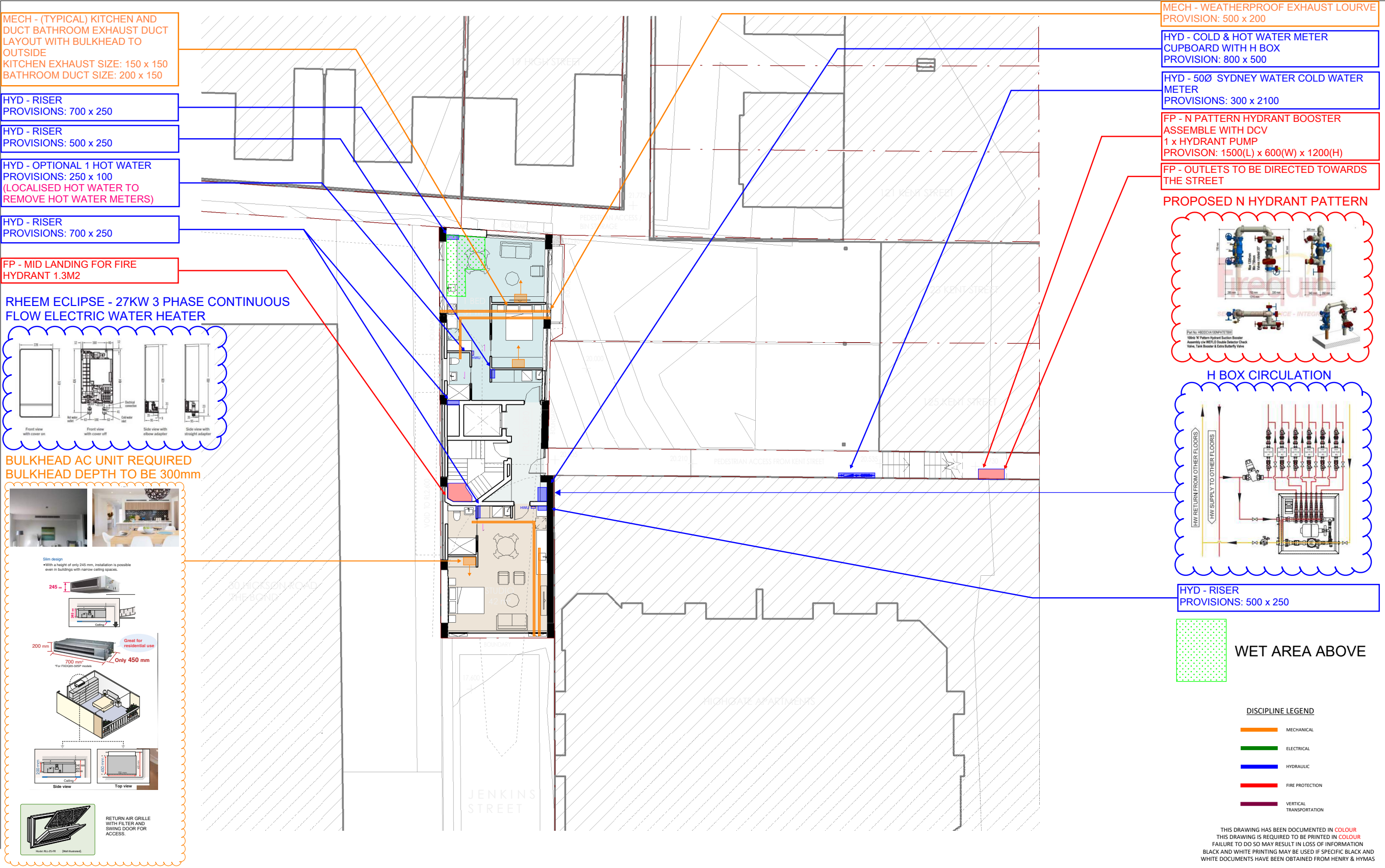
125A KENT STREET, MILLERS POINT
ARCHITECT/CLIENT

LOWER GROUND - FLOOR PLAN
PROJECT/TITLE



1:200	231604	MD-SK-01	01
SCALE @ A3	PROJECT No	DRAWING No	REV

PRELIMINARY
NOT FOR CONSTRUCTION
MULTI-DISCIPLINE



01	SERVICES SPATIAL	PF	FP	13.11.23
REV	DESCRIPTION	DRAWN	APP'D	DATE

125A KENT STREET, MILLERS
POINT

GROUND FLOOR - FLOOR PLAN



PRELIMINARY
NOT FOR CONSTRUCTION
MULTI-DISCIPLINE

1:200

231604

MD-SK-02

01

SCALE @ A3

PROJECT No

DRAWING No

REV

